

The Ridge at Eagle Crest Owners Association

Single Family Homesites



Architectural Review Committee

Policies and Guidelines

March 2020

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INTRODUCTION

This policy handbook is intended to help you, the owner, and your designer, architect, and builder understand the policies and guidelines adopted by the Architectural Review Committee, as well as the review and approval process. We urge you to contact the ARC office prior to filing any application to be sure you have the most current set of policies and guidelines. Only the most recent copy of the Application and Submittal Form will be accepted for review by the ARC. Additionally, all homes are subject to the revised policies regardless of date of purchase of the homesite lot. Please direct your questions, comments and ARC submissions to:

**The Ridge at Eagle Crest Owners Association
Architectural Review Committee**

ATTN: ARC Coordinator

P.O. Box 1215

Redmond, Oregon 97756

PHONE: (541) 548-9300

FAX: (541) 504-4351

EMAIL: arc@ridgeowners.org

The ARC office is located in the office of Eagle Crest Management at 8300 Coopers Hawk Drive.

Appointments recommended

GENERAL INFORMATION

The Ridge at Eagle Crest Owners Association has formed an Architectural Review Committee (“ARC”) as described by the Declaration of Protective Covenants, Conditions, Restrictions and Easements for The Ridge at Eagle Crest. The ARC may consist of no less than three members appointed by the Declarant, and it exercises its responsibilities and authority in accordance with the Declaration. At some time in the future, the Declarant may delegate the right to the Association Board of Directors to appoint members, but this will be at the sole determination of the Declarant.

There are a few general points you should keep in mind when reading these guidelines. First, these guidelines have been developed to help you through the process of designing and building your home within the Ridge homesites. Their intent, and the responsibility of the ARC, is to insure the preservation of the natural beauty of the site and maintenance throughout the community of the level of quality and aesthetic standards which have been established as the standard. These guidelines provide some broad indications of goals and objectives as well as some clear prohibitions and requirements. These guidelines, however, are not the exclusive basis for decisions of the ARC and compliance with the guidelines does not guarantee approval of an application.

Please understand this approach leaves a relatively large area open for ARC’s judgment as it aims to maintain the quality and visual integrity of the community. There may be individual decisions on your home or others with which you do not agree, but we hope there will be very few of those and that you will understand the balances and decisions we must make.

In reviewing each submission, the ARC may consider any factors it deems relevant, including without limitation, harmony of external design, compatibility with surrounding structures and the environment, wildfire reduction practices and storm water mitigation. Decisions may be based on purely aesthetic considerations.

Review and approval of any submission by the ARC is made on the basis of aesthetic considerations only. The ARC does not bear any responsibility for ensuring the structural integrity or soundness of approved construction or modifications, nor for ensuring compliance with building codes and other governmental requirements, nor for ensuring that all dwellings are of comparable quality, value or size or of similar design.

Before you start your design process, please read these guidelines thoroughly in order to understand the overall design goals and the process that should be followed for design review. To promote a harmonious residential community, we suggest that you consider the “Good Neighbor” approach discussed in *Exhibit D*. Select a professional architect or professional builder designer to help you translate your ideas into actual plans, and be sure your professional is acquainted with these guidelines as well. Obtain a good survey of your site to serve as a foundation for your home and landscape plans, and then, begin.

We look forward to working with you!

1.0 CONCEPTUAL APPROVAL: The purpose of conceptual review is to view designs at an early stage and to obtain ARC comment on designs which may not be in keeping with the concepts of The Ridge at Eagle Crest or which could be duplication of others in close proximity to the requested improvement. The conceptual review allows the owner to obtain ARC advice regarding changes that may be requested before additional amounts of time and money have been spent.

The ARC will respond to any pertinent preliminary information submitted. However, submitting any or all of the information required for construction approval will lead to a more detailed and definitive response. The conceptual review will not be deemed to be approval for the construction of the improvement(s).

If you intend to request a conceptual review, please submit your materials with an ARC application form. However, no fees are required at this stage.

2.0 CONSTRUCTION APPROVAL: Before construction can begin on any improvement(s) in the Eagle Ridge Homesite Community, the owner must obtain a construction approval letter from the ARC for the submitted plans. The stamped plans as approved by the ARC and the construction approval letter will remain on file in the ARC office. The submitted plans will be evaluated under the Declaration and the policies and guidelines of the ARC as described herein. After obtaining approval from the ARC, Deschutes County additionally requires that a building permit be obtained prior to beginning construction of any improvements or making any additions or changes to an existing structure.

2.01 Obtaining Approval: Only after ARC approval can any improvements, clearing, or tree removal occur on the homesite. To obtain approval, submit one set of the required documents, the fees, and the compliance deposit to the ARC. The ARC will respond with approval or required modifications within 30 working days after receipt of all required documents and fees. ARC meetings are tentatively scheduled to occur within the second Wednesday of each month but are subject to change without notice. Plans must be submitted at least one week prior to the scheduled ARC meeting to be reviewed in the meeting. Contact the ARC office for meeting schedules.

2.02 Allotted Time for Construction: Construction of the exterior of the home, including painting and all exterior finish, decks, privacy screens, shrouds, and all other elements on, or attached to the building must be completed within nine (9) months of written approval from the ARC, so as to present a finished appearance when viewed from any angle. (See *Section 7.01*) for definition of “Exterior Home Completion,” and (*Section 9.01.02*) for Exterior Completion Inspection information.

- 2.03 Allotted Time for Landscaping:** Landscaping must be complete within 9 months of completion of the exterior of the home. (See *Section 9.01.03*) for Final Inspection information.
- 2.04 Required Fees:** Application fees plus OWU service fees are required for new home construction in phases, 1-23, 33 and 36-41. Fees will only be accepted from the property owner or the general contractor hired by the property owner.
- 2.04.01 ARC Application Processing/Design Review Fee** (See *Exhibit E: Fee and Fine Schedule, page 47*).
- 2.04.02 \$2,500 Refundable ARC Compliance Deposit:** The \$2,500 refundable compliance deposit to the Architectural Review Committee is required to guarantee compliance with the ARC approval conditions, policies and guidelines, contractor rules contained herein, and to provide a surety against damage done to The Ridge at Eagle Crest Owners Association common area and improvements during the course of construction. Such damage items may include, but are not limited to, concrete spills, broken berms, unauthorized removal of trees or shrubs, and damage done to neighboring properties due to trespass. Clean up of job site debris will be required throughout construction and prior to return of any portion of the compliance deposit to the owner or designee of the owner. Contractors and owners must sign an agreement with the ARC to this effect at the time of posting the compliance deposit. This deposit will be held by the ARC and will be released in two phases after the required inspections for the completion of the exterior of the home and completion of the landscaping respectively. The ARC will return compliance deposit monies once it verifies that the completed improvements are satisfactory and in compliance with these guidelines (See *Section 9.01 Inspections*). A form to use in requesting the inspections and refunds of the compliance deposit is attached to these guidelines.
- 2.04.03 Utility Application Fee:** This fee is paid to Oregon Water Utilities – Cline Butte and includes sewer application fee, a water application fee, utility inspections, and on-site reviews when requested.
- Contact information:** Oregon Water Utilities – Cline Butte
1230 Golden Pheasant Dr.
Redmond, OR 97756
Office: 541-504-2305 Fax: 541-504-2307
- 2.04.04 \$750 Pavement Damage Assessment:** This assessment is deposited into the Association Reserve Fund for roadway wear and tear during periods of construction.
- 2.05 ARC Site Review:** A completed application shall be authorization to the ARC to make an on-site review of the homesite and proposed improvements.
- 2.06 Fee and Application Form:** The application shall be submitted with the required fees as set by the ARC, a completed ARC submittal/application form, and signed Construction Agreements (forms attached). Contact the ARC office for the most current copy. Obsolete copies will not be accepted.

- 2.07 Expiration Date of Approval:** The original construction approval shall be valid for a period of one year after which time it will expire. A new application with additional fees may be required if construction is to begin after this period ends.

3.0 BUILDING SITING/SITE PLAN

3.01 Building Siting Policies & Guidelines:

- 3.01.01 Trees and Habitat:** A distinct characteristic of the Ridge at Eagle Crest is the juniper habitat with its native grasses, shrubs and rock outcroppings. Buildings should be sited with respect to protection of natural areas. However, in order to create defensible space around homes to reduce the risk of wildfire damage, owners are required to remove existing juniper trees within 15 feet of the building envelope and adjacent structures (including eaves, decks, and enclosures) at the time of lot preparation prior to construction. Additionally, if building adjacent to a vacant lot, owners are strongly encouraged to remove any juniper tree within 15 feet of the adjacent buildable envelope.

All highly flammable trees and shrubs are subject to wildfire protection measures described in the Ridge Community Wildfire Protection (CWP) Program. (See CWP fire abatement policies). These measures include limbing-up junipers, removing highly flammable shrubs from under drip line of junipers and reducing the density of thick patches of highly flammable trees and shrubs.

See *Section 5.0* for requirements relating to landscaping plans. See *Section 3.03.01* for requirements to protect natural areas during construction. Additionally, unauthorized removal of trees will be subject to forfeiture of all or a portion of the compliance deposit as well as possible additional fines. See *Section 8.02* for procedure information regarding removal.

- 3.01.02 Views:** Each home should be sited and designed in a fashion which maximizes the existing views while maintaining the privacy and views of neighboring lots. Some homesites will have a maximum building height or building elevation requirement in order to better preserve views from other homesites. (See *Section 4.01.14 Building Heights*).
- 3.01.03 Retaining Walls:** Cut and fill slopes shall be minimized whenever possible. Retaining walls within the building envelope are encouraged over exterior retaining walls. Retaining walls must be terraced into hillsides whenever possible. Materials used to construct retaining walls are subject to ARC review, as well as the placement and specifications of the wall. In general, retaining walls shall not exceed 25' in length and 4' in height unless otherwise approved by the ARC. See *Exhibit C* for guidelines in designing hillside homesites.
- 3.01.04 Maximum Lot Coverage:** Single family residential buildings and structures footprints shall be no greater than 35% of the total lot area. Driveways, sidewalks and eaves which project beyond the foundation line are not considered in determining lot coverage. Any covered areas (i.e. porches, entries, walks, patios and decks) are included as part of the lot coverage. In phase 37 the guest "house" or "quarters" may not exceed 1,200 square feet.
- 3.01.05 Minimum Home Size:** Homes must be at least 1,800 square feet in size, excluding the garage, unless allowed by The Ridge at Eagle Crest Declaration. A minimum size of 1,600 square feet, excluding garage, is allowed on certain lots less than 12,000 square feet in size. Certain homesites in phases 36-41 will have a greater minimum square footage, specifically lots 48-108 in phase 36. Homesites 48-108 in phase 36 are restricted to 2,200 square feet or greater excluding the garage. In

phase 37 primary residences must be at least 2,800 square feet in size excluding the garage. In phase 37 the guest “house” or “quarters” may not exceed 1,200 square feet.

- 3.01.06 Hillside Homesites:** Understructures where exposed to external view, shall be aesthetically and architecturally designed and must present a finished appearance complimentary to the design of the home. Understructures include, but are not limited to, soffits, porch and patio ceilings, and deck understructures. Skirting material must extend to within eight inches of finish grade. Skirt walls more than four feet from the finish floor level may require foundation landscaping to reduce the scale of the skirt wall. See section 4.01.05: Skirting and Skirt Walls. See *Exhibit C* for design recommendations and guidelines for hillside homesites.
- 3.01.07 Setbacks:** There are two sources of setbacks to which the Ridge at Eagle Crest shall conform: (1) County setback rules and regulations, (2) Ridge at Eagle Crest setback rules. The ARC is bound to adhere to the governing setbacks that are stricter.
- 3.01.07.1 Front Setback:** No building improvements above finished grade level shall encroach within 25 feet of front property lines unless otherwise approved by the ARC. This shall include eaves, privacy screens, steps, bay windows, etc. Only those items at ground level such as walkways and driveways shall be permitted to encroach upon the front setback.
- 3.01.07.2 Side Yard Setbacks:** Side yard setbacks for a structure with a maximum ridge height of 21'-0" (considered a one- story structure) are established at 5'-0". Setback for a structure with more than 21'-0" ridge height (considered a two story structure) is established at 7'-6". In phase 39 lots 8-9 will be restricted to a side yard setback of 15' on both sides of the lot. No building improvements above finished grade level shall encroach within side setback areas unless otherwise approved by the ARC. This includes eaves, privacy screens, steps, trash enclosure, bay windows, chimney, etc. Only grade level improvements such as paths and walkways are allowed in the side setback areas.
- 3.01.07.3 Rear Setback:** Setback on property without a rear common area is set at 5'-0". No building improvement above grade level shall encroach into the setback area, including eaves, decks, privacy screens, bay windows, etc.
- 3.01.07.4 Corner Lot Setbacks:** Side property lines adjacent to main roadways will have a 25' building setback wherever possible but shall not be less than 10' in all cases. The main roadway is considered the road that carries the most vehicular traffic. Sides adjacent to secondary roadways shall be a minimum of 20'. Lot lines common with other lots shall conform to side yard setback rules as stated in (*Section 3.01.07.2*). Front setbacks on corner lots shall conform to the rules as stated in (*Section 3.01.07.1*).
- 3.01.07.5 Solar Setbacks:** Deschutes County has stringent solar setbacks and should be consulted on building siting prior to submitting plans to the ARC for review.

- 3.01.07.6 Deed Restrictions:** The applicant shall verify and make known to the ARC all deed restrictions such as non-buildable areas on the property, realignment of property lines, non-buildable setback areas and height limits of record, etc. Such deed restrictions, when more stringent, shall take precedence over Ridge at Eagle Crest setback rules.
- 3.01.08 Drainage:** The existing drainage on each homesite shall be carefully considered when siting an improvement. The natural drainage pattern should be preserved if at all possible, through the use of culverts and landscaping. In some cases culverts may be required where significant drainage crosses a homesite lot. Each homeowner is responsible for managing drainage through their homesite. For further information, See *Section 5.02.04*.
- 3.01.09 Grading:** To the maximum extent feasible, all grading shall conform to the natural contours. Berms or landscape mounds are subject to review and approval by the ARC. All graded surfaces shall be planted or seeded with native grasses, shrubs and/or trees and shown as such on the Landscape Plan.
- 3.01.10 No Build Zones & Building Envelope:** In order to protect views and some specific features on the property, certain homesites have areas designated as “no build zones” or have a specified “building envelope”. No build zones identify areas on the property where structures and certain landscaping are prohibited; a building envelope defines the area on the property within which structures must occur.
- 3.01.11 Utilities:**
- 3.01.11.1 Electricity:** Electrical facilities have been or will be extended to the existing electrical distribution facilities located in the road or public utility easements near your lot corner. To obtain service, Central Electric Cooperative assesses a connection fee and a line extension fee to extend the line from the electrical distribution facilities near your lot corner to the dwelling, which is determined on a case by case basis by the electric company at the time of line extension. Electrical meters must be flush mounted or framed in and sided, rather than surface mounted.
- 3.01.11.2 Utility Trenching:** Contractors must keep the ground wet during any trenching or backfilling operations to reduce dust problems. All areas of excavation for site utility work must be restored.
- 3.01.11.3 Utility Service Providers:** At The Ridge at Eagle Crest, electric power is available from Central Electric Cooperative, Inc. in Redmond, Oregon. Telephone is available from Century Link, TV cable from BendBroadBand, and propane gas is available from local suppliers. Natural gas is not available to the site. Water service and sewage disposal is provided by Oregon Water Utilities – Cline Butte (OWU). Sewage lines and water lines are extended to the property boundaries of each homesite. Specific instructions for proper connection to the water and sewer system are provided in the OWU New Service Information packet which is available from OWU.

You may also contact any of these utility companies during regular business hours for additional information:

Central Electric Cooperative, Inc.....	(541) 548-2144
Century Link	(877-941-8591) 244-1111
Bend Broadband.....	(541) 382-5551
Oregon Water Utilities.....	(541) 504-2305
Northern Energy - propane.....	(541) 548-7449
CO Energy LLC - propane.....	(541) 504-9444
Ferrellgas - propane	(541) 382-1161

3.01.12 Driveways and Parking Areas: Driveway widths shall be kept to a maximum of 12' where the driveway meets the street unless otherwise approved by the ARC. A width appropriate for the number of garages and, in general, the amount of paved areas exposed to view from adjacent roadways or homesites shall be kept to a minimum. Each residence must have an enclosed garage for at least two cars and an additional area for at least two guest parking spaces. All areas utilized as a driveway shall be surfaced with asphalt from the connection of the driveway and the street to 10' from the street toward the garage. The driveway apron may consist of a combination of asphalt, concrete or masonry from the garage to 10' from the street. Parking area materials close to the home may vary as they relate to site design, but should always maintain a finished appearance and quality. All proposed driveway and parking area surface materials and location are subject to approval by the ARC. All drainage where existing across or under driveways, must be integrated into the design of the driveway or apron. Additionally, a two foot shoulder consisting of $\frac{3}{4}$ " gray crushed rock or gravel must be installed and maintained along the edge of street pavement for the entire length of the lot. The ARC may require the use of a larger size rock or gravel in certain areas to control water runoff or erosion. The two foot shoulder shall not be utilized as a parking area. Parking of trailers, boats, motor homes, or other recreational vehicles on any homesite for longer than 48 hours is prohibited per the Ridge CC&Rs, unless parked inside and completely concealed from view from roadways, neighboring homesites, or common areas.

3.02 Site Plan Requirements: ARC recommends having the site plan professionally prepared.

- 3.02.01 Title Block:** The title block must include the following information: Owner Name and Phone Number, Plat (phase) Number, Lot Number, Street Address, Builder Name and Phone Number, Scale, Scale Bar, and any other pertinent information.
- 3.02.02 Scale:** 1" = 10' minimum scale required on site plans.
- 3.02.03 Property Lines:** All corner pins and property lines must be accurately located and dimensioned on the Site Plan. All areas adjacent to the subject property must be accurately labeled. Note the street name along the front property line, label all common area and include lot numbers of adjacent homesites. If there are existing homes on adjacent homesites, the location of those homes must also be shown on the site plan with respect to the property lines.
- 3.02.04 Setbacks and Easements:** All setbacks subject to the building and all existing easements must be shown on the site plan as a dashed line and designated as such. (See *Section 3.01.07: Setbacks*).

- 3.02.05 No Build Zones/Building Envelope:** All “no build” zones or “building envelope” must be located on the site plan and noted as such. See *Section 3.01.10* for a definition.
- 3.02.06 Building Locations:** All proposed structures shall be accurately located and the perimeter dimensions shown on the Site Plan. All building jogs must be shown and dimensioned, as well as decks, walkways, parking areas, and fences. Structure must be dimensioned on the plan with respect to the property lines.
- 3.02.07 Utilities:** Septic tank locations must be approved by Oregon Water Utilites under the requirements listed in the Oregon Water Utilites New Service Information packet. All utility service locations must be shown on the Site Plan including propane tank, electrical meter, septic tank (dimensioned to nearest paved surface), and water lines. Required inspections are listed in the OWU New Service Information packet.
- 3.02.08 Trees, Shrubs and Natural Features:** Significant trees greater than 6” trunk diameter measured 12” above grade and shrubs with a height exceeding 3’, site features including rock outcroppings, changes in elevation and view corridors must be located on the Site Plan. Trunk diameter and approximate canopy size (drip line) of the tree at its largest point must also be noted. Trees proposed for removal must be clearly defined as such on the Site Plan.
- 3.02.09 Lot Coverage:** Area calculations noting the percentage of site covered by built improvements must be noted in the bottom right corner of the Site Plan. See *Section 3.01.04* for definition of Maximum Lot Coverage.
- 3.02.10 Topography:** The Site Plan for any homesite lot with changes in the grade across the lot in excess of 12” must include contours at 5’ intervals for slopes up to 5%, and contours at 2’ intervals for slopes in excess of 5%.
- 3.02.11 Driveways and Walkways:** Accurately locate all driveways, walking and parking areas. Note materials to be used for construction of these items. While allowed in most areas of the Ridge, no concrete walkways are permitted in The Falls in order to maintain consistency with the appearance of the neighborhood. Show the width of the driveway at the street and at it widest point and all walkways, paths and parking areas. (See *Section 3.01.12 Driveways & Parking Areas*).
- 3.02.12 Privacy Screens and Fences:** Locate, dimension and describe all privacy screens and shrouds for hot tubs, wood storage, trash receptacles, heating and cooling equipment, propane tanks, service yards, etc. See *Sections 4.01.16, 4.01.17, 4.01.18, 4.01.19, and 4.01.20* for information regarding Fencing and Screening.
- 3.02.13 Staging and Temporary Structures:** Note all areas to be used as materials staging areas, and construction parking. Locate all temporary construction trailers and temporary toilet facilities. Recreational vehicles and camping trailers may not be used as construction trailers.

3.03 String Layout on Site: The owner shall be responsible for providing a string layout on the homesite. Layout must include the property lines, no build zones (if any), the proposed improvements, including decks, driveway, and any other on-site parking. In doing so, all pins must be located or a survey conducted to confirm property lines. In addition, any and all trees with a trunk diameter greater than 6" measured 12" above grade and shrubs measuring over 3' in height that are proposed for removal must be flagged with surveyors tape, for subsequent approval by the ARC. The use of paint in site layout is prohibited.

3.03.01 Native Area Preservation: All natural areas, specifically around existing trees that are not proposed for removal must be perimeter staked and strung prior to ARC site review and throughout construction, for the purpose of protection of native vegetation during the construction period.

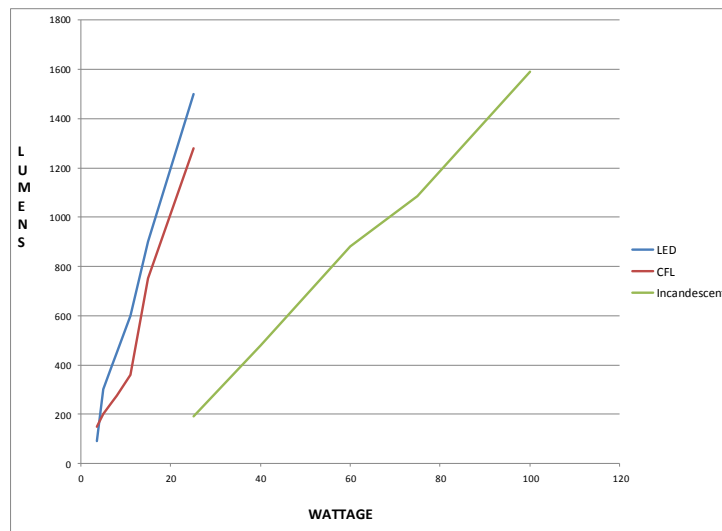
3.03.02 Adjacent Property: Adjacent properties must be protected from trespass during construction of a residence by staking and roping off common property lines with the project as well as front property lines of vacant properties. The stakes, either wood or metal, must be at least three feet tall with either yellow 1/4" nylon rope or orange trap fencing attached to the stakes to protect adjacent properties. In some cases orange trap fencing may be required. For example, when a home under construction is next to a finished home or is adjacent to a golf course. The trap fence helps to control trash from blowing around onto other lots of a golf course. See *Section 6.01.06: Adjacent Property* for policies regarding adjacent properties and trespass.

4.0 STRUCTURE DESIGN/ELEVATIONS:

4.01 Structure Design Policies and Guidelines

4.01.01 Exterior Lighting: No floodlighting or up-lighting will be permitted. Illumination necessary for evening activities must be directed downward and be only bright enough to provide for the safe traverse of steps and paths. Opaque glass in the light fixtures with clear bulbs or frosted incandescent light bulbs in textured glass fixtures are permitted. Clear glass fixtures with clear incandescent light bulbs are not permitted. Using Compact Fluorescent Lamps (CFL) or Light Emitting Diode (LED) lamps with a Color Temperature (K) rating of 3000 K or less is permitted. Bulbs above 3000K Color Temperature rating must be used in a fixture with opaque glass. A maximum of 1000 lumens per fixture is permitted regardless of type or number of bulbs. (*See example below*).

Hoods over lighting elements must be fixed in place to direct light downward, and materials for the hoods and posts must be compatible with the house and be approved by the ARC. Caution should be exercised when enclosing exterior lights with wood to prevent a possible fire hazard. Lighting fixtures located along driveways will be permitted only if the design and placement is approved by the ARC. All exterior lighting also falls under the requirements of the Deschutes County Lighting Ordinance adopted in 1994. It is the responsibility of the owner to determine compliance with the County Ordinance. During the holiday season, a variance is granted for the use of exterior decorative lights. All holiday lighting should be removed by the second weekend in January.



- 4.01.02 Exterior Colors:** Exterior colors shall blend, not create a high contrast to, and harmonize with predominate year-around colors of the immediate surrounding natural environment. All exterior color schemes shall be subdued and not create a contrast between the natural and built environment and shall be of medium to dark tones. All colors shall be reviewed and are subject to the approval process by the ARC. Colors will be judged on their individual merit, regardless of prior approval on other homesites. Exterior color treatments shall be continuous on all sides of the home. Care should be taken to avoid duplicating colors of nearby homes and duplication of exterior colors will be carefully scrutinized by the ARC. Matte, non-gloss and non-glare finish is required for all exterior building materials, and the only areas which may receive a clear finish or sealer are the flat deck, bench surface or stair treads. Trim color shall match the body color or be a complimentary color approved by the ARC. Overhead garage doors and garage ‘man’ doors shall be painted the same color as the body of the house, unless otherwise approved by the ARC. Accent colors, other than white, which are used judiciously and with restraint may be permitted. White paint is not permitted for use as a trim, body or accent color on the exterior of any home because of the contrast it creates with the native habitat. The exterior paint color selections along with the masonry selection are required to be submitted together at least 30 days prior to the installation.

4.01.02.1 Exterior Color Palate: An exterior color palate is available for use by owners and can be checked out from the ARC office. Photos in the color palate reflect colors that are found in the environment at the Ridge at Eagle Crest, and matching or complimentary paint colors have been associated to each photo.

- 4.01.03 Exterior Walls and Trims:** Exterior surface materials shall appear to be natural in character as well as blend and be compatible with the native Juniper habitat and the high desert. Long term maintainability and material quality shall be considered when selecting exterior surface materials. Plywood siding, T-111, vinyl siding and pressed board siding are prohibited unless the applicant can demonstrate to the ARC that the specific proposed application would result in a finished appearance indistinguishable from an individual board siding application. Siding materials and direction of application shall be consistent on all sides of the home unless the applicant can demonstrate that a unidirectional system or multiple siding applications is of sound architecturally

compositional practice. All windows and doors are required to be trimmed to give each house a more finished look.

- 4.01.04 Exterior Masonry, Stone, and Brick:** All exterior masonry, stone and brick are subject to ARC approval. Natural looking masonry and stone is encouraged rather than the use of brick, however, earth-tone colored brick will be allowed on a case by case basis at the discretion of the ARC. The masonry selection along with the exterior paint colors are required to be submitted together at least 30 days prior to installation.
- 4.01.05 Skirting & Skirt Walls:** Exterior skirting on walls, decks, shrouds, etc., must be constructed of the siding material that is primarily used on the body of the house unless otherwise approved by the ARC. Where cedar lattice is permitted and approved for use, it must be fully trimmed and architecturally integrated into the design of the home, not installed solely for functional purposes. In general, open screen skirting shall not exceed 30" in height, and a minimum of 3/8" thick materials will be allowed unless otherwise approved by the ARC. Vinyl lattice is prohibited in all cases.
- 4.01.06 Gutters & Downspouts:** All gutters and downspouts shall be designed as a continuous architectural design feature. Exposed gutters and downspouts shall be colored to blend as closely as possible with the surface to which they are attached. Example: If a down spout is attached to the body of the house it should blend with the body color, if it is attached to the trim of the house it should blend with the trim.
- 4.01.07 Decks and Patios:** Exposed understructures of decks will require certain shrouding in most cases. Deck blocks shall not be visible to neighboring properties including common areas and streets. Additional landscaping may be required to mitigate the visual impacts of elevated decks. Deck/patio materials must be noted on the submitted plan. While allowed in most areas of the Ridge, no concrete patios or walkways are permitted in The Falls in order to maintain consistency with the appearance of the neighborhood.
- 4.01.08 Exterior Building Projections:** All projections from a residence or other structure including, but not limited to, chimney flues, vents, flashing, gutters, downspouts, utility boxes, porches, railings and exterior stairways shall blend with the surface from which they project, or must be painted or stained an approved color to blend with adjacent materials.
- 4.01.09 Chimneys & Vents/Roof Metals:** All exterior chimneys and vent stacks from gas warming stoves and fireplaces must be of wood, stone, brick or metal. An approved spark arrestor, as per code, shall be required on all chimneys and vent stacks. All chimneys and vent stacks require flue shrouds that shall be framed in and sided with siding material, or approved masonry, unless otherwise approved by the ARC due to the architectural character of the home. Flue shrouds shall have a minimum height of 12" and shall be constructed in such a manner that conceals the spark arrestor from view. All visible metals (including metal chimneys within the wood flues and air vents) must be painted to blend with roof colors.

- 4.01.10 Skylights and Solar Devices:** All glass, plastic, or other transparent skylight or solar device shall be treated to eliminate reflective glare. Clear, bronze or gray glazing is preferred over white translucent. Flat skylights are preferable to domes. Solar heating systems will be reviewed on an individual basis and require the approval of the ARC.
- 4.01.11 Garages:** In general, an enclosed garage with a minimum size of 24' wide by 24' deep and appropriate for a minimum of two cars, shall be connected to the main house by a roof, screen or other architectural element, or be part of the house structure, unless otherwise approved by the ARC. Consideration should be given to relating the design of the garage to that of the residence. Garages must have installed and functioning overhead doors with automatic openers. Carports are not permitted. Wherever possible, the ARC encourages that garages are positioned so that the garage doors do not face the street. Additionally, when the garage stalls do face the street or are within uninhibited view of neighboring properties, and there are more than two stalls, the additional stalls must be recessed back at least two feet. See *Section 4.01.02 Exterior Colors* for specific painting requirements with respect to garage doors.
- 4.01.12 Roofs:** Slate and concrete tiles, concrete and wood simulated shakes, and layered fiberglass or composition roofing are considered as acceptable roofing applications for the Eagle Ridge Homesite community, provided the roofing materials are rated "Class A" by Underwriters Laboratory (UL). Composition roofing must be an "Arch 80" type equivalent or better and rated at 30 years or better. Bright, non-earth tone selections are prohibited. The roofing selection is required to be submitted at the same time you are submitting the home for ARC approval.
- 4.01.12.1 Roof Pitch:** On homes with one consistent pitch throughout the structure, and specifically on gable style roofs, the pitch shall be no less than 6/12, although 8/12 or greater is recommended.
- 4.01.13 Windows, Door Frames, and Skylights:** All windows, door frames, and skylights must be vinyl clad or bronze anodized, unless other treatments are specifically authorized by the ARC.
- 4.01.14 Building Heights:** So that the Ridge Homesites can be enjoyed by all, building height limitations may be imposed by the ARC in order to preserve views from neighboring homes and to minimize the impact of structures on sensitive natural areas of the property. Specifically, lots 4-12, 48-57, 60, 62-64 and 83 within Phase 36 and lots 36-62 and 73-80 within Phase 38 and lots 9-19 and 61-71 within Phase 39 will be restricted to construction of a single story home along with all homes located within the Falls (Phases 24 – 28). "Single story" as defined by the ARC is a structure with a maximum ridge height of 21'-0" from grade (ground level). Ridge height means the vertical distance from average grade (ground level) to the highest point of the roof. For purposes of height determination, grade shall be the average of natural ground elevations prior to construction. "Ridge height" is determined by calculating the average of the highest point of the ridge measured vertically to the lowest point of the grade and the highest point of the ridge to the highest point of the grade along all sides of the structure. For all homesites, ridge heights shall not exceed 30' in height from grade, but also may be restricted to a height of less than 30 feet as determined solely by the ARC. County residential height limitations and solar setbacks, if applicable may also impact the building design and height.

In addition to the aspect of view preservation as it pertains to building height, the design of a home should also consider the negative visual impact of tall, imposing facades upon neighboring homesites. It is of particular concern where a tall, flat face of a building may be exposed to roads or adjacent downhill sites.

There are several design considerations that address this condition. Adequate excavation for the lowest floor can better connect the building and homesite. Sensitively selecting roof pitches and roof massing can lessen the perception of height. Stepping the building profile from the point of low grade back toward the higher grade reduces the building mass, particularly as seen from lower viewpoints. Reducing story heights at the ends of the building adjacent to neighboring properties can substantially soften such end conditions. (See *Exhibit C*).

- 4.01.15 Animal Runs and Animal Restraint Areas:** All animal runs and animal restraint areas shall be situated on a homesite so as to be completely concealed or screened from view from roadways, common areas and neighboring homesites. Dog houses which are separated from the home will generally not be allowed but in all cases will need specific ARC approval. ARC approval is required when adding an animal restraint area to an existing structure or modifying existing service yards into animal restraint areas. Additions and alterations of this type shall not produce negative impacts to existing neighboring properties.
- 4.01.16 Hot Tubs:** Plans shall include screening for all hot tubs. The hot tub should be screened so that it cannot be seen from roads, common areas, golf courses or neighbors in the home sites. Screening shall consist of flush mounting or recessing the hot tub into the deck, or constructing a privacy screen to meet the standards in *Section 4.01.17*.
- 4.01.17 Fencing and Screening:** All fence materials, design and placement are subject to specific approval of the ARC. Fences, if needed, should be designed to appear as an extension of the architecture and architectural materials and used only where necessary. Fences utilized as sight screens must be conceived as an integral part of the overall design of the building and be constructed utilizing the same quality of material and detail as the building, not simply an added element dictated solely by function. No perimeter fencing will be allowed, although it is understood that fences may define pet runs or small yards, courtyards or terraces in close proximity to the residence for the purpose of privacy. Privacy or screen walls shall not exceed 6 feet in height, measured from finish grade, unless otherwise approved by the ARC. Chain link or wire fencing is prohibited.

4.01.17.1 Landscape Barriers for the Protection of Plant Materials: A physical barrier may be used to protect new plantings. Physical barriers are to be temporary and removable and may be used only during the first two years following planting and/or during deer rutting season (October 1 – April 1). All materials are to be black in color and must be installed as to present a professional and neat appearance. Galvanized fence material is not permitted, however, black vinyl-coated galvanized welded wire may be used. Temporary wire enclosures may be up to four feet in height and three feet in diameter. See Exhibit B-2 “Approved Physical Barriers for Protection of Plantings” for further specifications.

- 4.01.18 Firewood and Trash Bins:** Firewood must be stored in a fully enclosed space. Garbage cans and propane tanks must be screened from view. In some instances, the addition of gates may be required to screen these items adequately. As part of the design review process, applicant shall submit an elevation drawing showing the location and screening of these items. All covers and screens must be approved by the ARC.
- 4.01.19 Service Yards/Screening:** When not provided by other structures, each residence shall have a screened service yard, enclosing garbage and trash containers, firewood, clothes drying apparatus, bicycles, outdoor maintenance equipment, and so on. None of these items shall be stored where they can be seen from roads, common areas or neighboring homesites. Service yards and yard enclosures should be attached and architecturally integrated to the home and/or gated to screen the area from view.
- 4.01.20 Heating and Cooling Systems and Propane Tank/Screening:** All exterior elements of heating and/or cooling systems must be screened from view. See the manufacturer's requirements for clear space around equipment to avoid rendering the warranty (if any) invalid, or consult your technician or provider for acceptable screening setbacks. Such elements must be located and insulated to reduce noise transmission to acceptable levels at adjoining properties. All screens must be constructed with materials consistent with those on the body of the home at the location of the HVAC units. Each unit must be screened on all sides and access may require a gated entry.
- 4.01.21 Group Design:** Any production or merchant builders owning contiguous property or property within the same block shall submit the complete group design to the ARC before construction of the first house. Repetitive home design is discouraged, however, where considered, homes with the same or very similar floor plans may be required to have differing roof forms, window design, surface materials, entryway treatments, bay treatments, and other exterior features. Additional changes may be required by the ARC on a repetitive home design with respect to the shape of the home when viewed from the exterior.
- 4.01.22 Outdoor Play Equipment:** Swing sets, basketball backboards and other play equipment require ARC approval. Submit the make, model and color specifications of any play equipment along with the landscape plans. The play equipment may be required to be screened from view. Screening material must be identified on the submitted landscape plans. All proposed screening material must be fire resistant (See *Exhibit B-1*).
- 4.01.23 Prefabricated Housing:** No building that is constructed off-site and requires transportation to any lot, whole or in partial assembly will be permitted. This prohibition includes mobile homes, stock modular buildings, or any other structures requiring transportation and set up.
- 4.01.24 Satellite Dishes and Antennas:** External satellite dishes and antennas shall have no negative aesthetic impact.
- 4.01.25 Exterior Materials:** Any accent or trim material, including but not limited to, stucco, brick, glass block, unit masonry, rock and stone, must be submitted for specific review regarding color, placement and pattern. The aesthetic merits of any combination of exterior materials are subject to

review and approval by the ARC in order to maintain the architectural integrity and consistency of the visual experience at The Ridge at Eagle Crest. A physical sample of all proposed materials may be requested by the ARC, including samples of all roofing, siding and trim materials.

- 4.01.26 Awnings & Patio Covers:** Awnings and patio covers require ARC approval. Submit samples, drawings and for patio covers a site plan. All materials must blend with the colors and style of the home.

4.02 Structure Design Application/Submissions & Elevations/Plan Requirements:

- 4.02.01 Building Elevations:** Four elevations at a scale of $1/4" = 1'$ shall be provided showing the elevations of the proposed improvement(s) as situated on the owner's homesite. The elevations shall include finished floor elevations and dimensioned ridge heights above finished grade. In addition, the location, style and type of doors and windows shall be shown as well as the siding type, decks, railings, shrouds, chimneys, enclosures for trash, propane, and heat/cooling system, etc., as well as all other structures seen in elevation. Elevation notes shall include all exterior finishes to be used on the home; i.e., paint, stone, siding type (note reveal for lap siding, or spacing for batts), railing type, decking type, window type, and all other exterior elements. Other notes include, but are not limited to, roof pitch, and ridge heights dimensioned from finish grade.
- 4.02.02 Floor Plans:** Floor plans for construction shall be submitted at a scale of $1/4" = 1'$, and must be noted as such on the plan. All rooms in the home must be labeled with the appropriate room name. The square footage of each floor shall be designated as well as the total square footage of the proposed plan. Include the dimensions of all interior and exterior walls and building jogs and the perimeter dimensions of all decks and privacy screens. Floor plans must also include all door and window openings with sizes noted. Reverse floor plans will not be accepted.
- 4.02.03 Perspective Drawings:** Perspective drawings showing three dimensions of the home may be requested for review by the ARC. If perspective drawings have been done without being requested by the ARC, please submit them with plans and elevations as supplemental information.
- 4.02.04 Exterior Lighting Plan:** A plan locating all exterior light fixtures shall be incorporated into the exterior elevations. Once selected, legible, $8\frac{1}{2}" \times 11"$ color photocopies or catalogue pictures of all proposed exterior light fixtures shall be submitted to the ARC for approval. The submittal must include the following information: picture of all proposed fixtures with location noted on picture (i.e. (2) at front entry, (2) at garage door, etc.), model number, color or finish on the fixture, size of the fixture, and lumens of the bulb, as well as owner name and phone #, phase # and lot #. The ARC reserves the right to request actual fixtures to be submitted for review and approval. Decorative and landscape lighting must also be approved in advance using the same criteria for submittal described in this paragraph and may have further limitations placed upon it by the ARC. Colored light sources may be prohibited at the discretion of the ARC.
- 4.02.05 Exterior Paint Colors:** Paint colors must be submitted on an $8\frac{1}{2}" \times 11"$ piece of heavy paper or cardboard. Color samples of all proposed exterior colors including, but not limited to, siding, trim, doors, windows, garage doors, decks and deck rails must be submitted for review. Each sample must have the following information written on the back side: Owner Name and Phone Number, Phase # and Lot #, Brand of Paint, Color Name, Color #, and Finish. Painted siding samples (unless requested by the ARC), paint chips or painted stir sticks will not be accepted. (See *Section 4.02.05.1 Exterior Paint Schedule*).

4.02.05.1 Exterior Paint Schedule: A copy of the elevations shall indicate the location at which every color is to be applied to the exterior of the structure including but not limited to, trim, fascia, doors, body, knee braces, exposed structural elements, railings, etc. This paint schedule must be submitted with paint color samples (See *Section 4.02.05*) for ARC review.

4.02.06 Samples: All samples submitted must not exceed 11" in length. Paint samples will not be accepted in a size smaller than 8 1/2" x 11," and on a material other than heavy paper or lightweight cardboard. All samples submitted must indicate (on the backside of the sample), owner name, phone #, phase number, lot number, color number and name, and brand name of product, finish on product (satin, clear, brushed nickel, brass, etc.), and the location where the product will be installed on the home. Samples submitted to the ARC will not be returned unless prior arrangements have been made to do so.

5.0 LANDSCAPING/LANDSCAPE RESTORATION

5.01 Landscaping Policies and Guidelines:

5.01.01 Extent of Landscaping: Landscaping is required at the front, back and sides of the house. Extensive landscaping is not required and the ARC encourages natural landscaping in keeping with area water conservation efforts. However, all home sites shall be maintained to present an attractive appearance to all off-property vantage points, to maintain defensible space in the event of wildfire, and to moderate the problem of weeds and wind-blown dust. Steps must be taken to restore all damaged areas due to construction and all other activities. Restoration of all damaged areas must be done at the time of landscaping and requires native grasses and sagebrush planted at a minimum average of 3'-0" on center, randomly spaced. Native plant material will likely require regular irrigation for the first season. It is the responsibility of the property owner to promptly replace dead or dying native plants that have been installed in a restoration area and to keep noxious weeds such as Cheat Grass, Knapweed and Russian Thistle to a minimum at all times.

5.01.02 Fire Resistant Landscaping: In a wild-land/urban interface community, such as the Ridge at Eagle Crest, which in many areas is bordered on three sides by BLM land, the danger from wildfire is significant. The Association has adopted a Ridge Community Wildfire Protection (CWP) Program to address ongoing efforts and requirements to minimize the danger from wildfire. This CWP Program specifies steps to minimize or reduce the vegetative fuel and fire hazard around homes. The ARC requires use of fire resistant plants in certain areas and encourages equal attention to wildfire risk reduction and aesthetics. As a part of its review, the ARC will consider proper plant selection and placement. Both the ARC Guidelines and the CWP Program require practices that create fuel breaks and protect homes from wildfire.

5.01.03 Fire Resistant Plants: Only fire resistant plants may be installed or retained within 15 feet of the home or adjacent structures, including eaves, decks, and enclosures. Fire resistant plants are those that do not readily ignite from a flame or other ignition source. Plants that are fire resistant generally have the following characteristics:

- leaves are moist and supple
- dry, dead material does not tend to accumulate within the plant
- sap is water-like and does not have a strong odor
- sap or resin materials are low

In contrast, plants that are highly flammable have several of the following characteristics:

- contain fine dry or dead material within the plant
- leaves, needles, twigs and stems contain volatile waxes or oils
- leaves are aromatic
- sap is gummy, resinous, and has a strong odor
- may have loose bark

Examples of highly flammable shrubs and trees that are often planted in home landscapes are spreading or upright juniper, mugho pine, Austrian pine, and Ponderosa pine. Before installing any highly flammable plant, take into account future growth of the plant. See *Exhibit B1* for a list of highly flammable and fire resistant plants.

- 5.01.04 Irrigation Systems:** An in-ground irrigation system with an electronic controller is required on all home sites unless otherwise approved by the ARC.
- 5.01.05 Turf Limitations:** Lawn areas should be kept to a minimum and will be reviewed on an individual basis. As a rule of thumb, the allowable lawn area shall not exceed 17% of the square footage of the lot. The front lawn areas are limited to 50% of the allowable turf. The ARC recognizes that a well maintained lawn can be included in fire-resistant landscapes and serve as an effective fuel break.
- 5.01.06 Bark:** Ember showers from a wildfire, discarded smoking materials, and other sources can ignite dry bark mulch. Therefore, bark may not be installed within 18 inches of foundations, decks, or enclosures. Gravel or river rock may be installed instead. (See Section 5.01.1 Fluidity). Bark must be kept weed free and contained. Bark shall not be installed in drainage ways. Dark-brown to blackish colored bark mulch is preferred.
- 5.01.07 Grass:** Lawn areas, when installed by seeding and hydro seeding may require the ARC to withhold the compliance deposit until the turf has “grown in” and the committee is assured of a quality finished product. “Grown in” will be defined as some time after the first mowing and after weeds in the seeded areas have been eradicated.
- 5.01.08 Rocks:** Large rocks and boulders in excess of 18” are encouraged for use in landscaping. They must however, be incorporated into the landscaping so as to appear as if they naturally occur on the site. This can be accomplished by burying a portion of the rocks and boulders used in landscaping so that only the top half or less of the rock is visible and the grade makes a gradual transition away from the rock. On site examples can be viewed upon request. See *Exhibit B2* for diagrams and guidelines for integrating rocks into the landscaping.
- 5.01.09 Field Collection of Native Plants:** Field collection of native plant material, rocks, or any other natural feature of the land is strictly prohibited from any property other than the home site under

construction as approved by the ARC. Be aware that neighboring and nearby BLM lands, as well as privately owned lands, are NOT OPEN areas for field collection of any kind of plant material or rocks for use in home site or other landscaping. These property owners consider any activity of this kind to be trespass resulting in property damage or theft, and may be reported to the proper authorities.

- 5.01.10 Roadway Shoulder Treatment:** A two foot shoulder consisting of $\frac{3}{4}$ " gray crushed rock or gravel must be installed and maintained along the edge of street pavement for the entire length of the lot. The ARC may require larger rock or gravel in some areas to control excessive water runoff or erosion. The two foot shoulder shall not be utilized as a parking area. Landscaping is prohibited within two feet of street pavement. The purpose of the two foot shoulder is to allow drainage of water away from the edge of the paved surface and to help extend the life of the paved surface.
- 5.01.11 Fluidity:** Areas of the site exposed to the neighborhood should be treated in a casual, fluid manner so as to integrate comfortably with the natural settings of The Ridge at Eagle Crest. Consequently, certain materials, such as red lava rock, pinkish colored boulders and other colored decorative rock materials, are not permitted for use in landscaping within the Ridge. Additionally, property lines shall not be defined by formal landscaping.
- 5.01.12 Landscape Screening:** In some situations, the ARC may require an owner to plant trees and/or add contouring to a site to screen on-site elements from off-site vantage points. Any landscaping that dies must promptly be removed and may be required to be replaced.
- 5.01.13 Solar Encroachment:** Any planting that interferes with the existing use of solar energy on an adjacent property is prohibited.
- 5.01.14 View Preservation:** Planting of vegetation on a home site shall not impair the view of other home site owners. The ARC shall be the sole judge of such impairment. Any owner planting vegetation which interferes with the views of other home site owners shall be responsible for its removal, at the direction of the ARC. If natural vegetation needs to be removed, and the owner of the property containing the obstruction agrees, the benefited party shall be responsible for any costs associated with the removal and/or trimming of such vegetation, subject to the review and approval requirements for trees/shrubs as stated in these Guidelines.

An owner may request the ARC to inspect and make a determination on a view impairment situation involving non-native vegetation on a nearby home site. Such request shall be made in writing and must be accompanied by sufficient photos and/or drawings to identify the view impairment concern. By submitting such a request, the submitting owner grants permission to the ARC members to enter upon owner's lot to evaluate the claimed view impairment. Owners are responsible to communicate directly with each regarding removal of natural vegetation and to submit for and obtain the necessary approvals for tree/shrub removal from the ARC as required in these Guidelines. If the request involves landscaping or native vegetation that is located on association property, the association board of directors will need to approve any removal and/or trimming of such vegetation.

5.01.14.01 Alternative to Tree Removal: If a homeowner is found to be in violation of Section 5.01.14 above, such homeowner shall have the option to hire, at their expense, an ISA Certified Arborist to trim and prune the existing tree(s), providing the following conditions are met: (a) No tree shall be taller than the ridge line or 30 feet above the natural topographic line (as defined in *Exhibit C*) and (b) the arborist must verify in writing that trimming/pruning the tree(s) will retain the natural appearance and will not have an adverse impact on the health of the tree(s).

5.01.15 Allotted Time for Landscaping: All landscaping should be completed as soon as possible and must be completed within nine months of completion of construction of the exterior of the residence. (See *Section 9.01.03 Final Inspection*).

5.02 Landscape/Restoration Plan & Application Requirements:

5.02.01 Title Block and Scale: The title block must include the following information: Owner Name, Plat (Phase) Number, Lot Number, Street Address, Builder Name, Builder Phone Number, Scale(minimum of 1" = 10'), Scale Bar, and any other pertinent information.

5.02.02 Trees and Shrubs: Plan must show the location of existing trees with a trunk diameter greater than 6" measured 12" above grade and shrubs measuring over 3' in height. Trunk diameter of trees and approximate canopy (drip line) diameter at the largest point of the tree must be noted for each tree on the home site, and must be drawn to scale. Plan must indicate which trees and shrubs are proposed for removal.

5.02.03 Grade Changes: Illustrated changes in contour related to the landscaping work must also be shown with heights and depths noted, including added Berms, rock features, and drainage swales or dry creeks.

5.02.04 Drainage: For new home constructions and remodels, a drainage system must be designed by a qualified Engineer or Landscape Architect or Designer. Drainage systems shall be provided that reduce the potential impact on the new home construction from storm water entering the home and to reduce the potential that water will be diverted in a manner and direction that impacts other properties that would not otherwise be affected. Where storm water enters the property, the natural drainage pattern through the property should be preserved if at all possible through the use of landscaped swales or, where necessary, culverts. In some cases culverts may be required where significant drainage crosses a home construction site lot. Each home owner is responsible for managing drainage through their property in ways that reduce potential for impacts on neighboring properties. Trenching for drainage lines is not to encroach within the drip line of existing trees.

In addition, storm water control facilities shall be planned and constructed that contain storm water from all impervious surfaces (roofs, driveways, sidewalks, patios, etc.) on the property without discharge off site. The ARC may grant a variance to on-site impervious storm water containment if natural conditions of the property (steep slopes, etc.) make containment overly burdensome and impracticable AND if there is an adequate, area-wide storm water conveyance system that can accommodate the added flow without risk of flooding to other properties down slope. On-site storm water containment systems must be adequately sized to contain a 100 year, 45-minute storm

event (1.3 inches/hour). Containment systems may include swales or dry wells provided the dry wells are registered with the Oregon Department of Environmental Quality.

For remodels: Drainage systems shall be provided to reduce the potential impact on the existing home construction from storm water entering the home and to reduce the potential that water will be diverted in a manner and direction that impacts other properties that would not otherwise be affected. Natural drainage courses and patterns shall be protected and maintained, wherever feasible. Trenching for drainage lines is not to encroach within the drip line of existing trees.

Required submittals to ARC: A topographical plan view of the existing property with elevation contour intervals at a maximum of one foot. The locations of current and existing sources (natural or otherwise) of storm water entering the property shall be shown on this map.

A topographical plan view of the proposed property development with elevation contour intervals at a maximum one foot. The locations where storm water (natural or otherwise) enters the property and how it will be managed to protect the structure on the site and neighboring properties. For new home constructions only, a plan of how storm water from on-site impervious surfaces will be collected, contained and disposed of on site without discharge off site. The facilities shall be designed to contain a 100 year, 45-minute storm event (1.3 inches/hour). The plan shall specify the total square footage of all impervious surface including driveways, sidewalks, and paved patios.

The ARC may hire an independent, licensed engineer or other qualified professional to review the storm water components of the site plan. It shall be solely the property owner's responsibility to properly maintain and operate all storm water containment facilities.

New drainage courses are to appear and function like natural drainage ways. Vegetation cover is to be used to naturally filter runoff and promote infiltration and dispersion. Impervious surfaces (such as concrete paving) are to be minimized to the extent feasible to encourage water percolation into the ground. The use of more pervious (water permeable) materials, such as porous asphalt or open-celled pavers is encouraged.

Materials and sizes for all culverts, headwalls, visible drainage structures, and driveways are to be approved by the ARC to ensure structures appear natural and "disappear" into the landscape. Drainage across or under driveways is to be incorporated into driveway and apron design and concealed with stone headwalls.

- 5.02.05 Walkways & Bed Materials:** Note walk and other outdoor "floor" surface and planting bed materials, including color and type of mulch, bark dust, bark chips, rock, gravel, etc. The extents to which each material is to be placed or spread must be shown on the plan. Colored gravel or crushed rock is only permitted for use if it is gray in color but is not permitted for use in landscaping beds or on landscape berms.
- 5.02.06 Plant Materials:** List names, quantities and sizes of plant materials and show locations on the plan. A list of plant species suitable for use at The Ridge at Eagle Crest is available for use in landscape design and is shown in *Exhibit B1*.
- 5.02.07 Scarred Areas:** Plan must indicate landscaping methods for restoration of all areas disturbed during construction or scarred from other activities.

- 5.02.08 Landscape Lighting:** Locate all exterior light fixtures to be incorporated into the landscaping. Up-lighting is not permitted. The landscape plan shall include a lighting legend that calls out the proposed fixture type, fixture manufacturer, finish on fixture, lamp type, lamp lumens and total quantity of fixtures proposed. Legible 8½" x 11" photocopies of all proposed landscape lighting fixtures shall be submitted with the landscape plan. The ARC reserves the right to request actual fixtures to be submitted for review and approval. See *Section 4.02.06: Samples*, for information required on every sample.
- 5.02.09 Weed Abatement:** The ARC requires the use of a weed pre-emergent product in conjunction with new landscaping construction and installation. As part of maintaining the community-wide standards for neat and attractive, landscaped home sites, the Association monitors weed abatement problems through its policies and procedures.
- 5.02.10 Turf:** Percentage of turf coverage on the lot, as well as square footage of turf must be noted in the bottom right corner on the Landscape Plan. See *Section 5.01.05* for Turf Limitations.

- 5.03 Irrigation System Plan:** An Irrigation System Plan at a minimum scale of 1"=10' shall be submitted on a separate sheet of paper from the Landscape Plan and shall locate all watering/irrigation zones as well as identify the type of system being installed and the location of all sprinkler heads.
- 5.04 Irrigation Hardware:** Sprinkler heads are allowed only in turf areas, all other landscape watering must be on a drip or bubbler system. Many drip or bubbler systems have different ways of delivering water to plantings, such as micro sprayers, and they are allowed as long as they water the immediate bed area only.

6.0 CONSTRUCTION

6.01 Construction Policies and Guidelines

- 6.01.01 Accessory Buildings:** Only buildings to be used as temporary construction shelter (not residence) may be placed on a homesite prior to construction of the main residence. Structures such as tool sheds, wood storage, dog houses, etc., that are not integrated with the main structure will generally not be allowed, but in all cases would need specific ARC approval.
- 6.01.02 Contractor Conduct:** The following policies will be strictly enforced and anyone found in violation of these policies will be fined and/or restricted from performing work on the Resort.
- 6.01.02.1 Work Hours:** No construction work will be allowed before 7:30 am or after 6:30 pm Monday- Friday, and 8 am – 5pm on Saturday. No construction work involving the use of heavy equipment, hammers, saws or pneumatic nail guns will be allowed on Sunday or on major holidays, specifically including New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving and Christmas Day.
- 6.01.02.2 Drugs & Alcohol:** The use of alcohol or drugs is not permitted.
- 6.01.02.3 Music:** Playing music is allowed only inside a structure and only if the noise level is such that neighboring property owners cannot detect the use of same.

- 6.01.02.4 Pets/Animals:** Contractors are not allowed to bring any animals with them to the homesite or anywhere within The Ridge at Eagle Crest at any time. This includes but is not limited to pets in vehicles, tied to trees, inside a residence under construction, or anywhere on the property. Failure to comply with this policy may result in fine assessment or a deduction from the property owner's compliance deposit.
- 6.01.02.5 Speed Limit:** The posted speed limit for all of The Ridge at Eagle Crest is maximum 20 mph. The only exceptions is to be for emergency vehicles; ambulance, fire, police, and rescue.
- 6.01.02.6 Property Access:** All construction traffic entering and exiting Highland Ridge Homesites (phases 36-41), Creekside, Desert Sky, Highland Parks, Scenic Ridge and Vista Rim must use the Eagle Crest Blvd. entrance at Hwy 126. Construction traffic includes all vehicles of contractors, sub-contractors, workers, vendors, delivery, excavation, and support.

6.01.03 Burning: The uncontrolled open outside burning of construction and demolition waste is strictly prohibited within The Ridge at Eagle Crest. Construction waste is defined as wood, lumber, paper, boxes, roofing material, paint cans, insulation, caulking tubes, etc. Demolition waste is defined as material cleared from any site for land improvement, such as trees and brush. Even if you have a burn permit, these rules which are stricter, must be followed.

Warming fires may be allowed under the following conditions:

- Burn only clean untreated wood in a burn barrel, not allowing such material to be higher than the rim of the barrel
- The burn barrel must be steel with a wire or metal screen cover
- Burn barrels cannot be left burning unattended and the fire in a burn barrel must be extinguished when work ends for the day
- Treat a burn barrel as if it were a camp fire

6.01.04 Construction Debris: Contractors must maintain a neat and orderly construction site at all times, with debris removed at frequent intervals. Every job site requires an on-site dumpster with lid and professional trash removal service from the time framing commences through completion of the exterior of the home (see section 7.01 Exterior Home Completion). The required dumpster may be removed from the site at such time that operational garage doors can and will conceal trash inside the garage. Contractors are responsible for controlling litter at the homesite and neighboring properties resulting from their work and presence. Burial of construction debris on any property within The Ridge is strictly prohibited. Fines may be assessed or a deduction taken from the property owner's compliance deposit for failing to maintain an orderly job site and/or failing to provide an on-site dumpster.

- 6.01.05 Construction Disturbance:** Landscaping plans for any portion of a homesite to be disrupted must be submitted as part of the application for construction approval and must be shown on the site plan. Areas not designated on the plan as areas to be disturbed, specifically around trees, must have perimeter stakes and rope concealing the area to protect and preserve the native vegetation. (See *Section 3.03.01: Native Area Preservation*).
- 6.01.06 Adjacent Property:** Adjacent property may not be used for access to any construction site under any circumstances. Adjacent property also may not be used for parking by any contractor or subcontractor working on the homesite. Common property lines to a homesite with a residence under construction must be staked and fenced off in order to prevent trespass by contractors, subcontractors and others on-site during the construction of a residence. If the neighboring properties are vacant, it is necessary to also prohibit access at the front of the neighboring lots by staking and roping off the area with colored tape or rope along the front property lines. In some cases, vacant lots across the street may additionally require restraints to prevent trespass. In the event of damage to adjacent or neighboring properties, the homesite owner and general contractor will be held responsible and may be reported to the proper authorities. If the only access to a lot is by crossing an adjoining lot, then the Adjoining Lot Access form (attached) must be filled out and submitted to the ARC for review and approval by both the ARC and the adjoining lot owner before access will be granted. If approval for access is not sought and received and any adjoining property is trespassed upon, your compliance deposit will be immediately forfeited.
- 6.01.07 Excavation:** Each homesite shall be developed with minimal modification of the existing topography. All dirt and debris resulting from excavation must be removed from the site. Contractors must keep the ground wet during any excavation operations to reduce dust problems. Please be especially diligent of dust control on lots with several homes in the immediate area. All areas disturbed during construction must be restored to their original appearance or landscaped. Parking of excavation equipment in native areas or on neighboring property is strictly prohibited.
- 6.01.08 Staging Area:** Each construction approval application must designate all staging areas for a homesite, subject to the approval of the ARC. Each staging and construction area must be kept clear of trash and debris. Areas are subject to periodic inspection by the ARC.

7.0 MISCELLANEOUS POLICIES AND GUIDELINES

- 7.01 Exterior Home Completion:** The exterior of the home must be completed within nine months of the start of construction. Start of construction is designated by the ARC as the date of written ARC approval or Deschutes County building permit date, whichever is later. Exterior home completion requires that all exterior work on the structure has been completed so as to present a finished appearance when viewed from any angle. This includes but is not limited to, painting and all exterior finishes, completion of all decks, privacy screens, shrouds, driveways and parking areas and all other elements on, or attached to the building (building projections). Upon completion of the exterior of the home, the homeowner must provide notification to the ARC that the exterior is completed by using the form attached to these guidelines. At this time, the ARC will perform an on-site inspection to verify the following: that the home was constructed according to the approved

plans and conditions of approval, compliance with ARC Policies and Guidelines, and that the home was completed within the nine month time period. Upon satisfactory final inspection, up to \$1,500 of the compliance deposit will be refunded or any eligible portion thereof. (See *Section 9.01.02 Exterior Completion Inspection*).

- 7.02 Draperies and Window Coverings:** All draperies and window coverings should be of materials and colors which harmonize with the surroundings and the exterior of the home and should be chosen in consideration of neighbors and neighboring views, especially along roadways. Window coverings such as blinds are required in garages and other areas where items may be stored against a window and would be visible from the street, neighboring properties or common areas.
- 7.03 Duplication:** No repetition or near repetition of a house design will be allowed without ARC consent. A duplicate plan must be noted as such in the application upon submittal.
- 7.04 Mailboxes, Newspaper Receptacles:** Due to service restrictions of the U.S. Postal Service, mail delivery to individual mailboxes at each home is not currently available. Mail delivery will be made possible through substation post office boxes at a central location within the resort. Newspapers will be made available by delivery to owners who subscribe provided that a newspaper carrier delivers door to door within the development. To obtain a mailbox designation and mailbox key, contact Northview Community Services.
- 7.05 Maintenance:** Each property owner is required to keep his land, landscaping and all improvements in good repair and attractive condition.
- 7.06 Signs:**
- 7.06.01 Construction Job Site Sign:** The sign may have a maximum size of 24" x 36", must be almond background with black lettering, and may contain and is limited to the owner name, general contractor name and license number, phone number, the lot/block number, and street address. No logos are allowed. The construction job site sign may be placed on the lot upon approval of the construction application by the ARC and commencement of construction, and the sign shall be removed immediately upon completion of the exterior of the home or by final inspection by the Deschutes County Building Department, whichever is sooner. No portion of the compliance deposit will be returned while a construction jobsite sign is posted. Fines may be assessed by the Association if the builder's sign is reinstalled after any portion of the compliance deposit has been returned. See *Exhibit A* for design specifications.
- 7.06.02 Street Number Sign:** In order to create continuity within the community, design and location standards for all address signs have been developed by the ARC. Each owner upon completion of the home and prior to return of the compliance deposit shall have a professionally made, approved street number sign installed on the property at the owner's cost. Owners must order signs directly from Dana Signs in Redmond, OR by calling (541) 548-7226. The sign must be located within 4' of either side of the driveway and must run parallel to the street and be installed within 10' of the street. Power must be supplied by the owner to the location of the street number sign in order to illuminate the pre-wired sign; this is only for residences in Phases 36-41. The home site owner is

responsible for maintenance of the sign after installation. The color or design of the sign must not be altered and may only be ordered through Dana Signs.

7.06.03 Prohibited Signage: No signs of any kind are allowed in any location on a homesite (including, but not limited to, signs in the windows of a home) with the exception of the designated street number sign previously described and one construction job site, previously described. There shall be no sub-contractor or lender signs, or "for sale" or "for rent" signs. Painting and design of signs shall be professionally done. Temporary address signs are not permitted. If it is necessary to have the address on site for the purpose of delivery of materials, the address may be indicated on the construction job site sign as previously described (See *Exhibit A*).

7.07 Tarps and Other Weather Protection Materials: Tarps used for covering firewood or other uses which are visible from roadways and other homesites are not permitted.

7.08 Exterior Decorations: Including but without limitation, sculptures, lawn ornamentation, flags, fountains and similar items are subject to review and approval by the ARC.

8.0 EXTERIOR ALTERATIONS: Exterior alteration of existing improvements, site excavation, fill, alteration of existing drainage, or planting or removal of landscaping must be approved by the ARC, except as noted in paragraph 8.02 below. Modifications to convert garages into living space or working space shall be subject to approval. Any request to convert a garage must include plans for a replacement garage on the site. If approval of a garage interior conversion is granted, the approval may be conditional on the construction of a replacement garage, and changes to the exterior of the original garage.

8.00.01 Obtaining Approval: To obtain such approval, one set of required documents, accompanied by the required fees, must be submitted to the ARC. The ARC will respond with approval or required modifications within 30 working days of the date all required documents and fees have been received.

8.00.02 Required Fees: A payment of \$400 is required for exterior alterations, minor additions, and landscaping remodels, of which \$200 represents a refundable compliance deposit. A payment of \$850 is required for major additions and/or remodeling, of which \$200 represents a refundable compliance deposit. Major remodels are typically defined as projects requiring the issuance of building permits. Up to \$200 of the deposit paid for these alterations will be refunded upon satisfactory completion of the approved remodel work as verified by an on-site inspection. Applications for approval of exterior paint color changes, for tree/shrub removal requests, or placement of minor landscaping or planting bed materials do not require the payment of fees.

8.01 View Preservation: Construction of improvements and growth of vegetation on a homesite shall not materially impair the view of other homesite owners. The ARC shall be the sole judge of such impairment. If vegetation needs to be removed, the benefited party shall be responsible for any costs associated with the removal and/or trimming of such vegetation. Existing native vegetation is exempt.

8.02 Tree and Shrub Alterations: At any time after initial ARC approval, it is the responsibility of the owner to obtain written permission to remove any trees greater than 6" in diameter measured 12" above grade, or shrubs measuring more than 3' in height. Violation of this rule may result in a fine. A "Tree and Shrub Removal Permit" is attached to these guidelines as *Exhibit N* for use in requesting removal subsequent to initial home construction approval.

8.02.01 Removal of Highly Flammable Trees and Shrubs: To create defensible space in the event of wildfire, owners may remove any highly flammable tree or shrub within 15 feet of a building envelope, including decks and enclosures, without ARC approval.

8.02.02 Removal of Other Trees and Shrubs: ARC approval is not required to remove any other tree with a trunk diameter less than 6 inches measured 12 inches above grade or shrubs measuring less than 3 feet in height.

8.03 Exterior Alteration Application and Plan Requirements:

8.03.01 Site Plan: A site plan for the proposed alteration(s) shall be submitted at a minimum scale of 1" = 10' – include a scale bar.

8.03.02 Landscape Plan: Plans must be submitted at a minimum scale of 1"=10' including a scale bar, are similar to those required for construction approval. Plans must indicate all additions and/or modifications to be made. See section 8.02 information regarding the removal of trees and shrubs only.

8.03.03 Building Elevations: Pertinent elevations at a scale of 1/4" = 1' shall be provided showing the elevations of the proposed improvement(s) as situated on the owner's homesite.

8.03.04 Floor Plans: If applicable, floor plans similar to those required for construction approval, at a scale of 1/4" = 1', shall be submitted showing the square footage.

8.03.05 Repainting/Restaining: Repainting or re-staining applications are required when colors are being changed and must be accompanied by an 8 1/2" x 11" sample of both the requested body and trim colors of paint or stain. Application for approval of color changes alone does not require additional fees.

8.03.06 Exterior Lighting: If applicable, submit per construction requirements. (See *Section 4.02.04*).

8.03.07 ARC Inspection: A completed application shall be authorization to the ARC to make a physical on-site inspection of the homesite where the proposed alteration is to be completed. In addition, the owner is responsible for notifying the ARC upon completion of the proposed alteration. (See *Section 9.01.03: Final Inspection*).

8.03.08 Fee and Application Form: The application shall be submitted with a completed ARC application form, the required fee set by the ARC, and the signed Construction Agreements (forms attached).

8.03.09 Expiration Date of Alteration Approval: The alteration approval shall be valid for a period of six months, at which time it shall expire. A new application, plus additional fees, may be required if the project is not started within this six month period.

8.03.10 Exterior Alteration Completion: The exterior alteration project must be completed within twelve months of the date of approval or Deschutes County building permit date, if applicable, whichever is later. Project completion requires that all planned work has been completed as to present a finished appearance when viewed from any angle. Upon completion, the homeowner must provide notification to the ARC that the exterior alteration project is completed by using the form attached to these policies and guidelines as Exhibit M. At this time, the ARC will perform an on-site inspection to verify the following: that the project was completed according to the approved plans and conditions of approval, compliance with ARC Policies and Guidelines, and that the project was completed within the twelve month time period. Upon satisfactory final inspection, up to \$200 of the compliance deposit will be refunded or any eligible portion thereof.

8.04 String Layout: The same requirements apply as for construction approval. (See *Section 3.0*).

9.0 MISCELLANEOUS PROVISIONS:

9.01 Inspections:

9.01.01 Work-in-Progress Inspections: The ARC may inspect all work-in-progress and give notice of noncompliance. Absence of such inspection or notification during the construction period does not constitute an approval by the ARC of work-in-progress or compliance with the Guidelines.

9.01.02 Exterior Completion Inspection: Upon completion of the exterior of the home, the ARC will perform an on-site inspection to verify completion of the exterior of the home as defined in section 7.01. Failure to request an inspection upon completion of the exterior of the home and within 9 months of the start of construction, as defined in *Section 7.01*, may result in forfeiture of the compliance deposit or a portion thereof.

9.01.03 Final Inspection: Upon completion of all landscaping work or exterior alterations, the ARC will perform an on-site Final Inspection to verify the following: completion of all exterior work on the homesite according to the approved plans and conditions of approval, compliance with all ARC policies, installation of landscaping according to the approved Landscape Plan and conditions of approval, and completion of landscaping within the required timeframe.

9.01.04 Inspection Request Form: The inspection request form to use in requesting any of the above inspections is *Exhibit M* in these guidelines. The ARC will conduct the requested inspection within 30 days of receipt of the Inspection Request Form.

9.01.05 Inspection Report: After performing any of the inspections required in *Section 9.01*, the ARC will provide a written Inspection Report listing items in noncompliance with the approved plans or these Policies and Guidelines on the inspection date. See *Section 9.02* for requirements to remedy noncompliance.

- 9.01.06 Final Release:** Once all improvements are determined to comply with the approved plans and these Policies and Guidelines, the ARC will issue a written approval to the owner constituting a final release of the improvements by the ARC, and a notice of intent to release the compliance deposit balance, if any.
- 9.01.07 Re-Inspections/Fees:** One re-inspection will be performed by the ARC at no charge. Each subsequent re-inspection will be at a charge of \$100 per re-inspection, which will be deducted from the compliance deposit, or invoiced if the re-inspection fees exceed the refundable portion of the compliance deposit.
- 9.02 Non-Compliance:** If it is found that the work was not done in strict compliance with the approved plans or any portion of these Guidelines, the ARC may issue a written notice of noncompliance to the owner, specifying the particulars of noncompliance, said notice to be issued within 30 days of the final inspection. The owner shall have 30 days from the date of notice of noncompliance within which to remedy the non-complying portions of the improvement and request a re-inspection. If, by the end of this time period, the owner has failed to remedy the noncompliance and request the re-inspection, the ARC may take action to remove or remedy the non-complying improvements as provided for in these Guidelines and the Declaration, including without limitation, injunctive relief or the imposition of a fine.
- 9.03 Non-Waiver:** Consent by the ARC to any matter proposed to it or within its jurisdiction, or failure by the ARC to enforce any violation of the Policies, shall not be deemed to constitute a precedent or waiver impairing the ARC's right to withhold approval as to any similar matter thereafter proposed or submitted to it for consent or to enforce any subsequent or similar violation of these Policies.
- 9.04 Right of Waiver:** The ARC reserves the right to waive or vary any of the procedures set forth herein at its discretion on a case by case basis or as an amendment to these Policies.
- 9.05 Severability:** If any section, subsection, paragraph, sentence, clause, or phrase of these Policies and Guidelines is for any reason held by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the remaining portion of these Policies.
- 9.06 Amendment of Guidelines:** The ARC may, from time to time and at its sole discretion, amend or revise any portion of these Guidelines, including fees and compliance deposit amounts. All such amendments or revisions shall be appended to and made a part of the Guidelines. Each owner is responsible for obtaining from the ARC a copy of the most recently revised Guidelines.
- 9.07 Enforcement:** Upon discovering a violation of these Guidelines, the ARC will provide a written notice of noncompliance to the Owner, including a reasonable time limit within which to correct the violation. If the Owner is unable, unwilling or fails to comply with the specific directives for remedy within the specified time period, the Association shall have the right to enter the offending homesite and remove the cause of the violation or alter, repair or change the item in violation, and/or bring suit or action against the Owner to enforce the Guidelines. The expense related to such action shall be the sole responsibility of the Owner and shall be secured by a lien upon the homesite enforceable in accordance with the Declaration. In addition, if the

ARC is holding compliance deposit from the Owner, such funds may be used to satisfy, in whole or in part, the obligation of the owner to pay such expense.

In the event of any violation or noncompliance, the ARC may, at its sole discretion and in addition to restoration expenses, impose without limitation a punitive fine, commensurate with the severity of the violation. Such fine shall be paid and secured as provided above for other expenses for which the Owner is liable.

ATTACHMENTS

EXHIBITS A

A-1Address Sign for Phases 1, 4-6, 14, 16-29, 33-34 and Construction Jobsite Sign

A-2.....Address Sign for Phases 36-41

EXHIBITS B

B-1.....Highly Flammable and Fire Resistant Plants

B-2.....Landscape Barriers for the Protection of Plant Material

B-3.....Using Rocks in Landscaping Diagram

EXHIBIT CHillside Homesite Design Techniques

EXHIBIT DGood Neighbor Policies

EXHIBIT EFee and Fine Schedule

EXHIBIT FOwner Construction Agreement (For New Construction)

EXHIBIT GOwner Construction Agreement (For Additions and Remodels)

EXHIBIT HBuilders Agreement

EXHIBIT ILot Drainage Acknowledgement

EXHIBIT JNew Construction Submittal Form and Application

EXHIBIT KExterior Alteration Submittal Form and Application

EXHIBIT LNo Compliance Fee Submittal Form/Application

EXHIBIT MInspection Request and Compliance Deposit Request Form

EXHIBIT N.....Tree and Shrub Removal Permit

EXHIBIT OAddress Sign Order Form

EXHIBIT PAdjacent Lot Access Permit/Builders Agreement

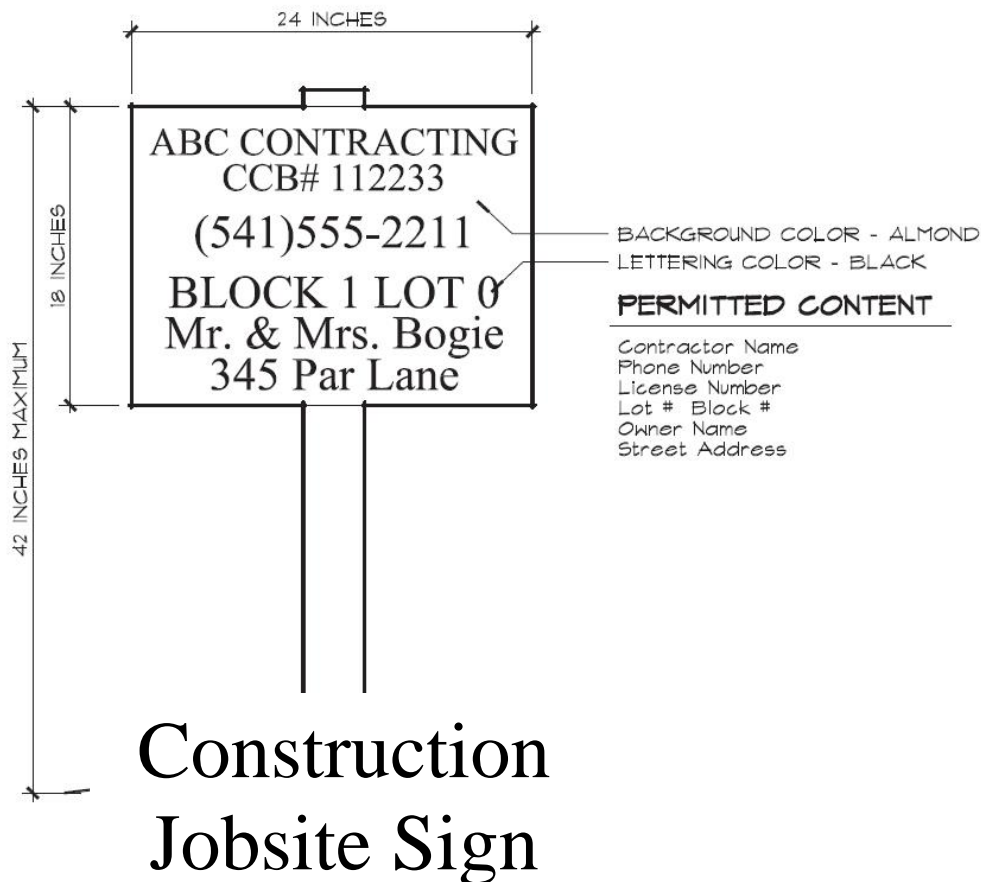
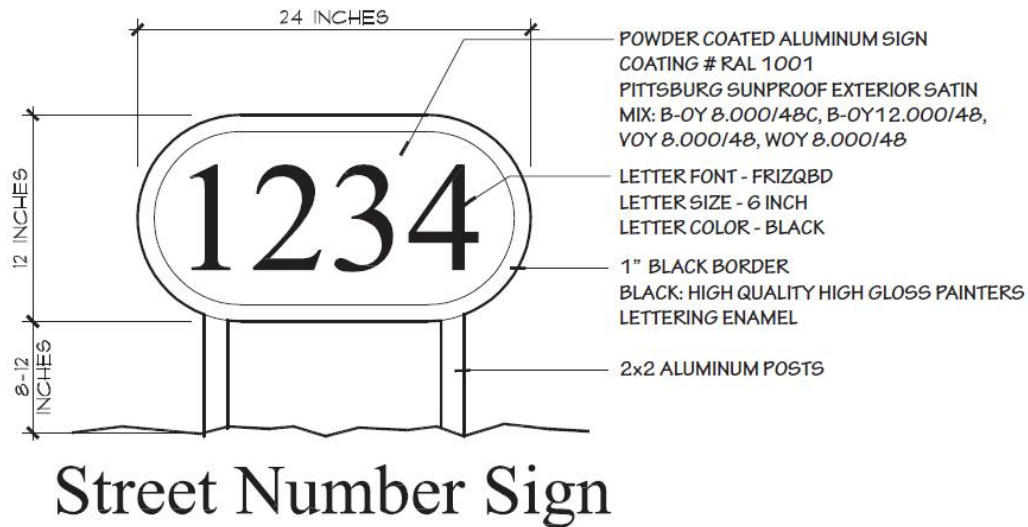
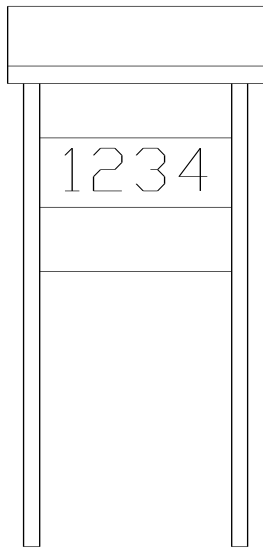
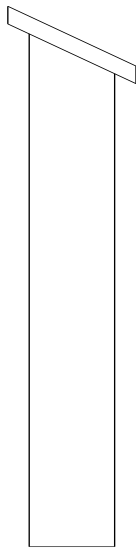
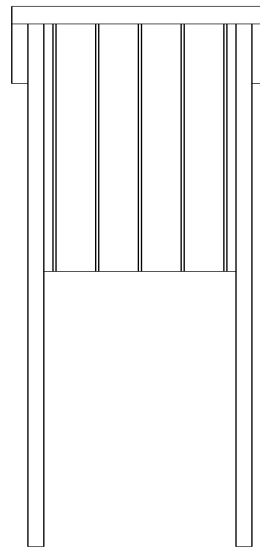
EXHIBIT A-1

EXHIBIT A-2**Ridge Phases 36-41 Homesites****ADDRESS SIGN**

Front



Side



Back

Sign Specifications:

- Homesite Address Signs may be ordered directly from Dana Signs in Redmond, OR by calling (541) 548-7226.
- Power must be supplied and connected to the sign by the owner and at the owner's expense. The pre-wired sign is operated by a photocell built into the sign so that it illuminates only during non-daylight hours.
- The sign must be located within 4' of either side of the driveway, must run parallel to the street and be installed within 10' of the street.(*See Section 7.06.02*)
- The homesite owner is responsible for maintenance of the sign after installation.
- The color and design of the sign must not be altered unless implemented by the ARC.

EXHIBIT B-1

HIGHLY FLAMMABLE AND FIRE RESISTANT PLANTS

This list is intended to provide examples of highly flammable and fire resistant plants. It is not all-inclusive. Particular care must be exercised in the planting or retention of highly flammable plants in landscaping on the Ridge at Eagle Crest.

HIGHLY FLAMMABLE PLANT LIST

Highly flammable plants pose a particular hazard to your home in a wildfire. In general, they must not be planted and should not be retained within 15 ft of your home, decks, and enclosures as well as within 10 ft of the side property line. Highly flammable shrubs should never be planted or retained within the drip line of a highly flammable tree. Highly flammable plants generally have the following characteristics:

- ❖ Sap that is gummy, resinous, and has a strong odor
- ❖ Contains fine dry or dead material within the plant
- ❖ Leaves, needles, twigs, and stems that contain volatile waxes or oils
- ❖ Leaves that are aromatic or emit a strong odor when crushed
- ❖ Have loose or papery bark

Trees:

Acacia.....	<i>Acacia sp.</i>
Arborvitae	<i>Thuja sp.</i>
Cedar/Cypress.....	<i>Chamaecyparis sp.</i>
Cypress.....	<i>Chamaecyparis sp.</i>
Fir	<i>Abies species</i>
Douglas Fir	<i>Pseudotsuga menziesii</i>
Dwarf Alpine Fir.....	<i>Abies lasiocarpa "compacta"</i>
Hemlock.....	<i>Tsuga sp..</i>
Juniper.....	<i>Juniperus species</i>
Western Juniper	<i>Juniperus occidentalis</i>
Pine.....	<i>Pinus species</i>
Japanese White Pine	<i>Pinus parviflora</i>
Mhugo Pine.....	<i>Pinus mhugo mugus</i>
Murryanna Pine	<i>Pinus contorta murryanna</i>
Austrian Pine	<i>Pinus nigra</i>
Bosnian Pine	<i>Pinus heldreichii</i>
Bristlecone Pine.....	<i>Pinus aristate</i>
Limber Pine.....	<i>Pinus flexilis 'Vandervolf'</i>
Mhugo Pine.....	<i>Pinus mhugo mugus</i>
Murryanna Pine	<i>Pinus contorta murryanna</i>
Lodgepole Pine.....	<i>Pinus Contorta</i>
Ponderosa Pine.....	<i>Pinus ponderosa</i>
White Pine, Eastern	<i>Pinus strobus</i>
White Pine, Japanese	<i>Pinus parviflora</i>
White Pine, Western	<i>Pinus monticola</i>
Western Larch	<i>Larix occidentalis</i>
Spruce varieties.....	<i>Picea species</i>

Sequoia.....	<i>Sequoia sp.</i>
Western Larch	<i>Larix occidentalis</i>
Yew	<i>Taxus sp.</i>

Shrubs:

Antelope Bitterbrush	<i>Purshia tridentata</i>
Big Sagebrush	<i>Artemisia tridentata</i>
Blackberry	<i>Rubus armeniacus</i>
Broom, Scotch and Lydia	<i>Cytisus scoparius</i> and <i>Genista lydia</i>
Gray/Green Rabbitbrush	<i>Chrysothamnus nauseosus/viscidiflorus</i>
Juniper shrubs.....	<i>Juniperus</i> species
Laurel sumac (Malosma laurina)	
Manzanita	<i>Arctostaphylos species</i>
Mhugo pine.....	<i>Pinus mhugo mugus</i>
Prairie Sage	<i>Artemisia ludoviciana</i>
Rosemary *	<i>Rosmarinus sp. *except for 'Prostratus'</i>
Sagebrush	<i>Artemisia sp.</i>
Scrub oak	<i>Quercus sp.</i>
Wild Lilac	<i>Ceanothus sp.</i>
Spruce varieties.....	<i>Picea</i> species

Grasses:

Any grasses that become dry or withered should be removed from beneath highly flammable trees or shrubs or trimmed to a height less than four inches. Pampas grass (*Cortaderia selloana*) is considered highly flammable.

FIRE RESISTANT PLANT LIST

This list is not all-inclusive as other plants with similar characteristics—such as low moisture, dry limbs and needles and abundant oil—are potentially hazardous. Plant smart and use fire-resistant vegetation to create defensible space around all structures.

Fire-resistant plants are those that do not readily ignite from a flame or other ignition source. These plants can be damaged or even killed by fire, however, their foliage and stems do not significantly contribute to the fire's fuel and, therefore, a fire's intensity. There are several other significant factors that influence the fire characteristics of plants, including plant moisture content, age, total volume, dead material, and chemical content. Plants that especially are fire-resistant (when placed appropriately) may even serve to shield your home from the radiant heat of an approaching fire. Most deciduous trees and shrubs are fire-resistant.

Remember, there are no fire-proof plants, but some are more fire-resistant than others. Fire-resistant plants have the following characteristics:

- ❖ Are less flammable and likely to ignite in a wildfire
- ❖ Have high moisture content, ie: succulent plants
- ❖ Leaves are moist and supple
- ❖ Are low growing or a small species
- ❖ Have stems or leaves that are not resinous, oily or waxy
- ❖ Low in sap or resin materials
- ❖ Sap that is water-like and does not have a strong odor
- ❖ Easy to maintain and prune
- ❖ Have less accumulated debris and fewer dead branches. Dry, dead material does not tend to accumulate within the plant
- ❖ Have an open, loose branching pattern
- ❖ Are drought resistant, requiring less irrigation
- ❖ Burn less intensely when ignited and spread the fire slower

Trees:

Amur Maple	<i>Acer ginnala</i>
Birch.....	<i>Betula</i> species
Flowering Dogwood.....	<i>Cornus florida</i>
Mountain Ash.....	<i>Sorbus aucuparia</i>
Purple Robe Locust.....	<i>Robinia pseudoacacia</i>
Rocky Mountain Maple.....	<i>Acer glabrum</i>
Vine Maple	<i>Acer circinatum</i>
Washington Hawthorn.....	<i>Crataegus phaenopyrum</i>

Shrubs:

Alaska Blue Willow	<i>Salix purpurea nana</i>
American Cranberry	<i>Oxycoccus macrocarpus</i>
Blue-mist spirea.....	<i>Caryopteris × clandonensis</i>
Carol Mackie daphne.....	<i>Daphne burkwoodii</i>
Currant varieties	<i>Ribes</i> species
Dogwood	<i>Cornus</i> species

Dwarf Burning Bush	<i>Euonymus alatus compactus</i>
Flowering Quince	<i>Chaenomeles cultiuras</i>
Lilac	<i>Syringa</i> species
Mockorange	<i>Philadelphus</i> species
Oceanspray	<i>Holodiscus discolor</i>
Oregon Boxwood	<i>Paxistima myrtifolia</i>
Oregon Grape	<i>Mahonia aqua folium</i>
Rhododendron	<i>Rhododendron</i> species
Russian Sage.....	<i>Perovkia atriplicifolia</i>
Serviceberry	<i>Amelanchier alnifolia</i>
Shrubby Cinquefoil.....	<i>Dasiphora fruticosa</i>
Sumac.....	<i>Rhus</i> species
Compact Viburnum.....	<i>Viburnum trilobum</i>
Wild Rose	<i>Rosa nutkana/rugosa</i>
Western Spirea	<i>Spirea douglasii</i>

Ground Cover:

Carpet bugleweed.....	<i>Ajuga reptans</i>
Creeping Oregon Grape	<i>Berberis repens</i>
Creeping Thyme.....	<i>Thymus praecox</i>
Dianthus varieties.....	<i>Dianthus</i> species
Japanese pachysandra	<i>Pachysandra terminalis</i>
Kinnikinnick	<i>Arctostaphylos uva ursi</i>
Phlox	<i>Phlox subulatum</i>

Perennials & Grasses:

Arrow Leafed Balsamroot	<i>Balsamorhiza sagittata</i>
Blood Grass varieties.....	<i>Impeata</i> species
Blue Flag Iris	<i>Iris missouriensis</i>
Blue Oat Grass varieties.....	<i>Helictotrichon</i> species
Blue Wind Rye	<i>Elymus glaucons</i>
Columbine varieties	<i>Aquilegia</i> species
Common Yarrow	<i>Achillea millefolium</i>
Dwarf Fountain Grass	<i>Pennisetum hameln</i>
Dwarf Mountain Daisy	<i>Erigeron compositus</i>
Evening Primrose	<i>Oenothera</i> species
Fescue varieties.....	<i>Festuca</i> species
Indian Rice Grass	<i>Oryzopsis hymenides</i>
Lavander varieties	<i>Lavandula</i> species
Lupine varieties	<i>Lupinus</i> species
Penstemon varieties	<i>Penstemon</i> species
Purple Cone Flower	<i>Echinacea purpurea</i>
Salvia varieties.....	<i>Salvia</i> species
Showy Phlox	<i>Phlox speciosa</i>
Siberian Iris	<i>Iris siberica</i>

Note: Fire resistance of perennials and grasses depends on watering and seasonal factors. If grasses or perennials become dry, trim back if under or adjacent to highly flammable trees, shrubs or structures.

For photographs and additional information on fire-resistant plants, see “*Fire-Resistant Plants for Home Landscapes*”, 2006, Pacific Northwest Extension. Another OSU publication, EM 9136, "Water-wise Gardening in Central Oregon" does provide photographs and additional information on fire-resistant plants. <https://catalog.extension.oregonstate.edu/em9136>.

A link to these publications can be found on the Ridge Owners website at www.ridgeowners.org.

EXHIBIT B-2

LANDSCAPE BARRIERS FOR THE PROTECTION OF PLANT MATERIAL

Learning to co-exist with the deer (and other wildlife) is part of life when choosing to live within a Wildland Urban Interface (WUI). A good way to prevent deer and other wildlife browsing in landscapes is to plant native or ornamental plants and trees that deer do not like to eat. Occasional browsing of tender shoots and leaves generally does not cause irreparable harm to established landscape plants. Other wildlife deterrent methods can help prevent damage to newly planted trees, shrubs, vegetables, and other plant materials by grazing wildlife.

- ❖ Plant deer resistant or and native plants.
- ❖ Repellants may be applied to keep animals away from an area or to make the plant distasteful.
- ❖ Barriers for the protection of plant material from wildlife may not be placed in the common areas of the Ridge at Eagle Crest. Container gardening is permitted on patios and decks.
- ❖ Scare tactics such as shiny objects, pie plates, pinwheels, metal strips, or scarecrows may not be used to deter wildlife.

Approved landscape barriers may be used to protect new plantings from grazing by wildlife in accordance with the following material specifications and timelines:

Physical Barrier Type	Usage	Time Period	Material	Color
Wildlife netting	May be used to cover shrubs or plants for protection from wildlife browsing	Year-round	Mesh fabric bird netting	Black
Temporary wire enclosure	Temporary wire enclosures may be used to protect newly planted trees from wildlife browsing	Two years after planting	Vinyl coated galvanized wire; fence posts may be painted wood or metal (black)	Black
Tree guards and tree wraps	Placed around the trunk of a tree, these barriers prevent deer from rubbing their antlers against the bark and causing damage	Only during rutting season (October 1 – April 1)	Commercially available options include corrugated plastic ADS drainpipe, tree guards, plastic mesh, woven wire cylinders, or tree wrap	Black
Tree stakes	Newly planted trees may require staking until roots are established to prevent wind damage	One years after planting	Black tree chain or wire; posts may be painted wood or metal (black)	Black

DEER RESISTANT PLANT LIST

Below is a list of plants identified by the Oregon State University Extension Service of Central Oregon which tend to be more deer resistant. Deer resistant does not mean deer-proof; even the plants listed below will be grazed from time to time. Deer browsing depends upon the available food source for that year, time of year, location, deer species, and simple curiosity.

Trees:

Concolor Fir	<i>Abies concolor</i>
Grand Fir.....	<i>Abies grandis</i>
Sub-alpine Fir	<i>Abies lasiocarpa</i>
Vine Maple	<i>Acer circinatum</i>
Boxelder.....	<i>Acer negundo</i>
Paper Birch.....	<i>Betula papyrifera</i>
European White Birch	<i>Betula pendula</i>
Incense Cedar	<i>Calocedrus decurrens</i>
Atlas Cedar.....	<i>Cedrus negundo</i>
Port Orford Cedar	<i>Chamaecyparis lawsoniana</i>
Kousa Dogwood.....	<i>Cornus kousa</i>
English Hawthorn.....	<i>Crataegus laevigata</i>
Russian Olive.....	<i>Elaeagnus angustifolia</i>
European Beech.....	<i>Fagus sylvatica</i>
Green Ash or White Ash	<i>Fraxinus spp.</i>
Honey Locust	<i>Gleditsia triacanthos</i>
Holly.....	<i>Ilex spp.</i>
Juniper.....	<i>Juniperus spp.</i>
Western Larch	<i>Larix occidentalis</i>
Norway Spruce	<i>Picea abies</i>
White Spruce.....	<i>Picea glauca</i>
Colorado Blue Spruce.....	<i>Picea pungens</i>
Bristlecone Pine.....	<i>Pinus aristata</i>
Mugo Pine	<i>Pinus mugo</i>
Austrian Pine	<i>Pinus nigra</i>
Scotch Pine	<i>Pinus sylvestris</i>
Japanese Flowering Cherry	<i>Prunus serrulata</i>
Pin Oak.....	<i>Quercus palustris</i>
Red Oak.....	<i>Quercus rubra</i>
Black Locust	<i>Robinia pseudoacacia</i>
Pink Idaho Locust.....	<i>Robinia x ambigua "Idahoensis"</i>
Corkscrew Willow	<i>Salix matsudana tortuosa</i>
Mountain Ash.....	<i>Sorbus aucuparia</i>
Japanese tree Lilac.....	<i>Syringa reticulata</i>

Shrubs:

Barberry.....	<i>Berberis spp.</i>
Butterfly Bush.....	<i>cultivars</i>
Pea Shrub	<i>Caragana spp.</i>
Bluebeard.....	<i>Caryopteris clandonensis</i>

Flowering Quince.....	<i>Chaenomeles spp.</i>
Desert Sweet.....	<i>Chamaebatiaria millefolium</i>
Gray Rabbitbrush.....	<i>Chrysothamnus nauseosus</i>
Green Rabbitbrush	<i>Chrysothamnus viscidiflorus</i>
Red Osier Dogwood.....	<i>Cornus stolonifera</i>
Smoke tree.....	<i>Cotinus coggygria</i>
Cotoneaster.....	<i>Cotoneaster spp.</i>
Daphne	<i>Daphne spp.</i>
Forsythia.....	<i>Forsythia spp.</i>
False Broom.....	<i>Genista lydia</i>
Holly.....	<i>Ilex spp.</i>
Juniper.....	<i>Juniperus spp.</i>
Beauty Bush	<i>Kolkwitzia amabilis</i>
Privet.....	<i>Ligustrum spp.</i>
Arnold's Red Honey-suckle.....	<i>Lonicera tatarica 'Arnold's Red'</i>
Oregon Grape Holly.....	<i>Mahonia aquifolium</i>
Prickly Pear	<i>Opuntia spp.</i>
Pumila Spruce.....	<i>Picea abies 'Pumila'</i>
Shrubby Potentilla.....	<i>Potentilla fruticosa</i>
Firethorn.....	<i>Pyracantha spp.</i>
Buckthorn	<i>Rhamnus spp.</i>
Rhododendron	<i>Rhododendron spp.</i>
Red Elderberry	<i>Sambucus racemosa</i>
Buffaloberry.....	<i>Shepherdia canadensis</i>
Snowmound Spirea.....	<i>Spiraea nipponica</i>
Common Lilac.....	<i>Syringa vulgaris</i>
Viburnum	<i>Viburnum spp.</i>
Adam's Needle Yucca	<i>Yucca filamentosa</i>

Vines:

Clematis	<i>Clematis spp.</i>
Japanese Wisteria.....	<i>Wisteria floribunda</i>

Perennials & Bulbs:

Arrow Leafed Balsamroot	<i>Balsamorhiza sagittata</i>
Blood Grass varieties.....	<i>Impeata species</i>
Blue Flag Iris	<i>Iris missouriensis</i>
Blue Oat Grass varieties.....	<i>Helictotrichon species</i>
Blue Wind Rye	<i>Elymus glaucous</i>
Columbine varieties	<i>Aquilegia species</i>
Common Yarrow	<i>Achillea millefolium</i>
Dwarf Fountain Grass	<i>Pennisetum hameln</i>
Dwarf Mountain Daisy	<i>Erigeron compositus</i>
Evening Primrose	<i>Oenothera species</i>
Fescue varieties.....	<i>Festuca species</i>
Indian Rice Grass	<i>Oryzopsis hymenides</i>
Lavander varieties	<i>Lavandula species</i>
Lupine varieties	<i>Lupinus species</i>

Penstemon varieties	<i>Penstemon</i> species
Purple Cone Flower	<i>Echinacea purpurea</i>
Salvia varieties	<i>Salvia</i> species
Showy Phlox	<i>Phlox speciosa</i>
Siberian Iris	<i>Iris siberica</i>
Yarrow	<i>Achillea</i> spp.
Monkshood	<i>Aconitum</i> spp.
Ladybells	<i>Adenophora confusa</i>
Bishop's Weed	<i>Aegopodium podagraria</i>
Hyssop	<i>Agastache rupestris</i>
Carpet Bugle	<i>Ajuga reptans</i>
Onion/Garlic	<i>Allium</i> spp.
Ornamental Onion	<i>Allium senescens</i> 'Glaucum'
Leadplant	<i>Amorpha canescens</i>
Marguerite Daisy	<i>Anthemis</i> spp.
Columbine	<i>Aquilegia</i> spp.
Wormwood or Sage	<i>Artemisia</i> spp.
Big Sagebrush	<i>Artemisia tridentata</i>
Basket of Gold	<i>Aurinia saxatilis</i>
Arrow-leaf Balsamroot	<i>Balsamorhiza sagittata</i>
False Indigo	<i>Baptisia australis</i>
Bluebeard	<i>Caryopteris clandonensis</i>
Bachelor's Button	<i>Centaurea cyanus</i>
Snow in Summer	<i>Cerastium tomentosum</i>
Coreopsis or Tickseed	<i>Coreopsis grandiflora</i>
Threadleaf Coreopsis	<i>Coreopsis verticillata</i>
Delphinium	<i>Delphinium</i> spp.
Sweet William	<i>Dianthus barbatus</i>

Perennials:

Maiden Pinks	<i>Dianthus deltoides</i>
Bleeding Heart	<i>Dicentra</i> spp.
Foxglove	<i>Digitalis</i> spp.
Purple Coneflower	<i>Echinacea purpurea</i>
Buckwheat	<i>Eriogonum</i> spp.
Spurge	<i>Euphorbia</i> spp.
Apache Plume	<i>Fallugia paradoxa</i>
Blanket Flower	<i>Gaillardia</i> spp.
Sweet Woodruff	<i>Galium odoratum</i>
Cranesbill	<i>Geranium</i> spp.
Grecian Rose	<i>Geum</i> spp.
Baby Breath	<i>Gypsophila</i> spp.
Sneezeweed	<i>Helenium</i> spp.
Sunflower	<i>Helianthus</i> spp.
Hellebore	<i>Helleborus</i> spp.
Daylily	<i>Hemerocallis</i> spp.
Dame's Rocket	<i>Hesperis matronalis</i>
Hyssop	<i>Hyssopus officinalis</i>
Iris	<i>Iris</i> spp.
Red-hot Poker	<i>Kniphofia uvaria</i>

Deadnettle.....	<i>Lamium spp.</i>
Lavender.....	<i>Lavandula spp.</i>
Gayfeather.....	<i>Liatris spp.</i>
Blue Flax.....	<i>Linum lewisii</i>
Desert Parsley.....	<i>Lomatium spp.</i>
Lupine.....	<i>Lupinus spp.</i>
Maltese Cross.....	<i>Lychnis chalcidonica</i>
Rose Campion.....	<i>Lychnis coronaria</i>
Daffodil, Narcissus.....	<i>Narcissus spp.</i>
Catmint.....	<i>Nepeta spp.</i>
Evening Primrose.....	<i>Oenothera spp.</i>
Oregano.....	<i>Origanum spp.</i>
Peony.....	<i>Paeonia spp.</i>
Oriental Poppy.....	<i>Papaver orientale</i>
Penstemon.....	<i>Penstemon spp.</i>
Russian Sage.....	<i>Perovskia atriplicifolia</i>
Obedient Plant.....	<i>Physostegia virginiana</i>
Creeping potentilla.....	<i>Potentilla verna 'Nana'</i>
Mexican Hat.....	<i>Ratibida spp.</i>
Rhubarb.....	<i>Rheum spp.</i>
Black-eyed Susan.....	<i>Rudbeckia spp.</i>
Sage.....	<i>Salvia nemorosa</i>
Lavender Cotton.....	<i>Santolina chamaecyparissus</i>
Soapwort.....	<i>Saponaria spp.</i>
Pincushion.....	<i>Scabiosa spp.</i>
Catchfly.....	<i>Silene spp.</i>
Goldenrod.....	<i>Solidago spp.</i>
Lamb's Ear.....	<i>Stachys byzantina</i>
Orange Globe Mallow.....	<i>Sphaeralcea munroana</i>
Tansy & Feverfew.....	<i>Tanacetum spp.</i>
Germander.....	<i>Teucrium spp.</i>
Thyme.....	<i>Thymus spp.</i>
Periwinkle.....	<i>Vinca minor</i>
Mule's Ears.....	<i>Wyethia spp.</i>

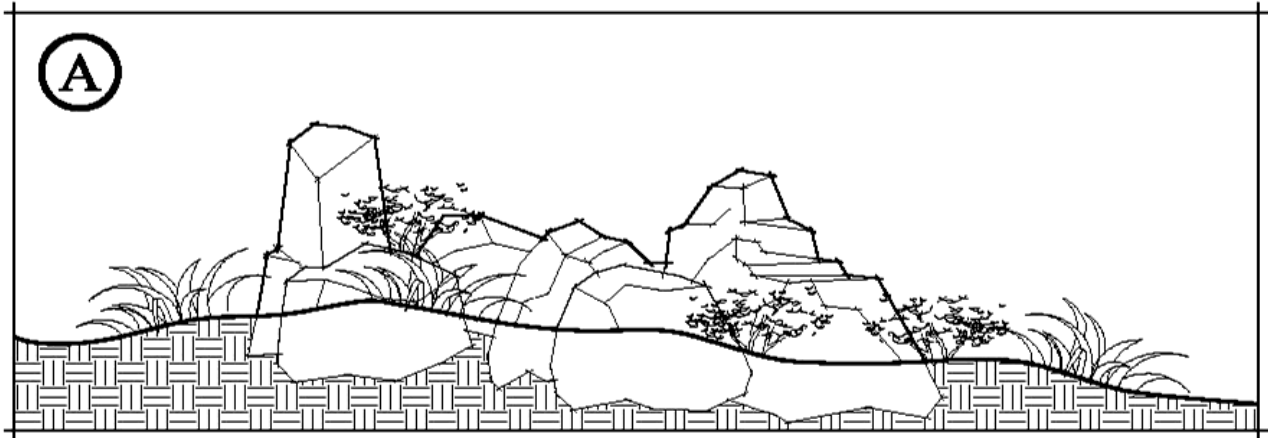
Deer Resistant plants are identified in OSU publication **OSU publication EM 9136**, "Water-wise Gardening in Central Oregon" <https://catalog.extension.oregonstate.edu/em9136>

For a native plant reference, **OSU Extension publication EC 1623** "Selecting Native Plants for Home Landscapes in Central Oregon" <https://catalog.extension.oregonstate.edu/ec1623/html>

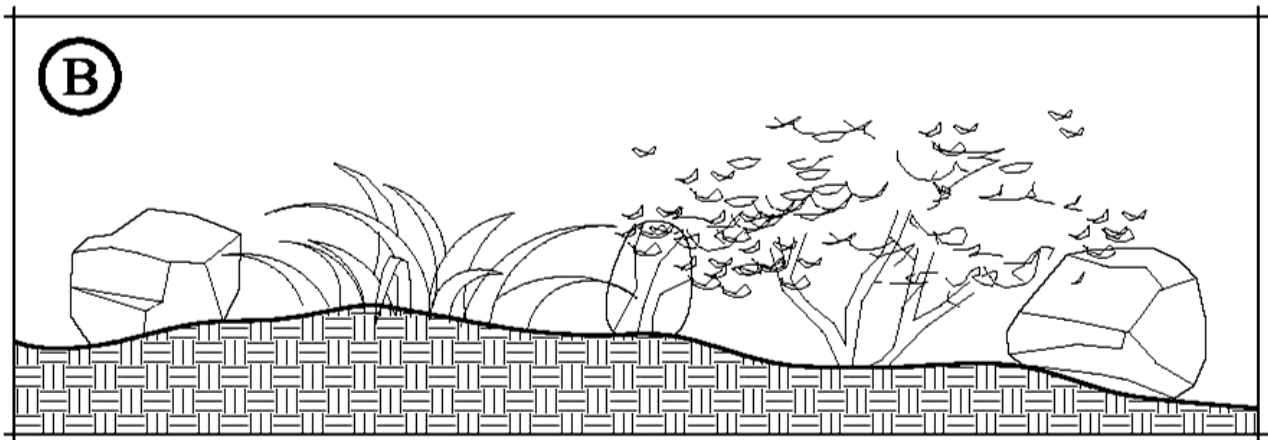
Links to these resources can be found on the Ridge Owners website at www.ridgeowners.org.

Exhibit B-3

Using Rocks in Landscaping



Rocks used in landscaping should be grouped with other rocks of varying sizes and should be partially buried as seen above so they appear as if naturally occurring on the site. Rocks used in landscaping should be native looking when compared to other rocks on the site. Landscaping rocks should not consist of those salvaged from excavation or scarred and broken. Rocks should always appear as a natural feature of the site.



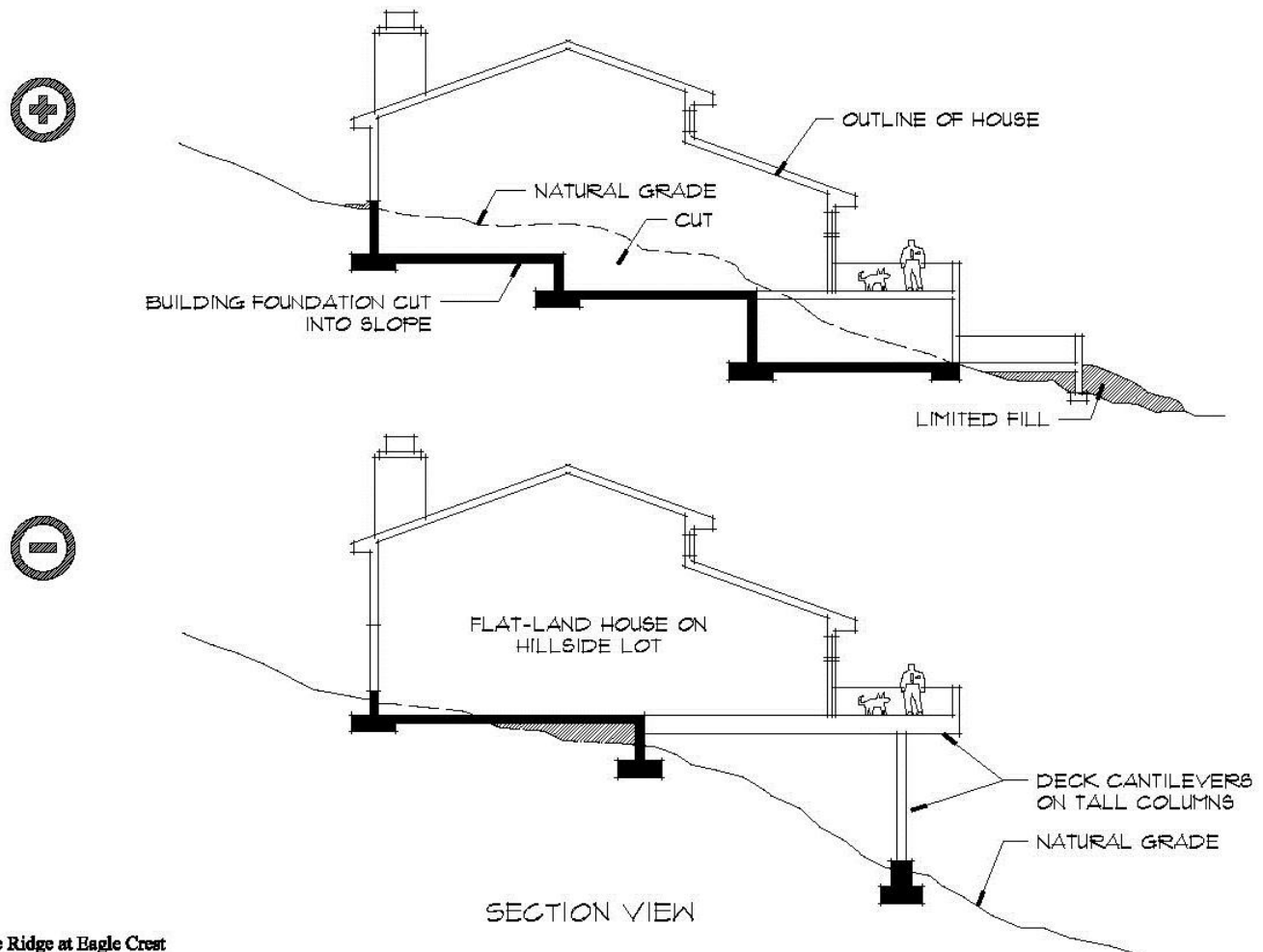
Small rocks (less than 12" in diameter) should not be scattered throughout the landscaping as seen above in example B, but rather carefully placed with larger rocks and partially buried as seen in example A.

Exhibit C

Hillside Housing Design & Construction Techniques

Blend the house into its surroundings

- Step Building into Hillsides
- Minimize the visual impact of grading by doing most of the cut under the building.
- Minimize exposed foundations and understructures.
- Minimize the height of the building as seen from below.
- Use materials and color to reduce apparent bulk.
- Avoid excessive soil removal and fill.
- Avoid large downhill cantilevers.
- Avoid tall support columns for overhanging areas.
- Select colors that are compatible with the neighborhood.
- Fit in with hillside topography and background.
- Avoid interrupting the natural ridgelines.
- Avoid using fill to hide downhill foundations.
- Avoid exposed underfloor areas.

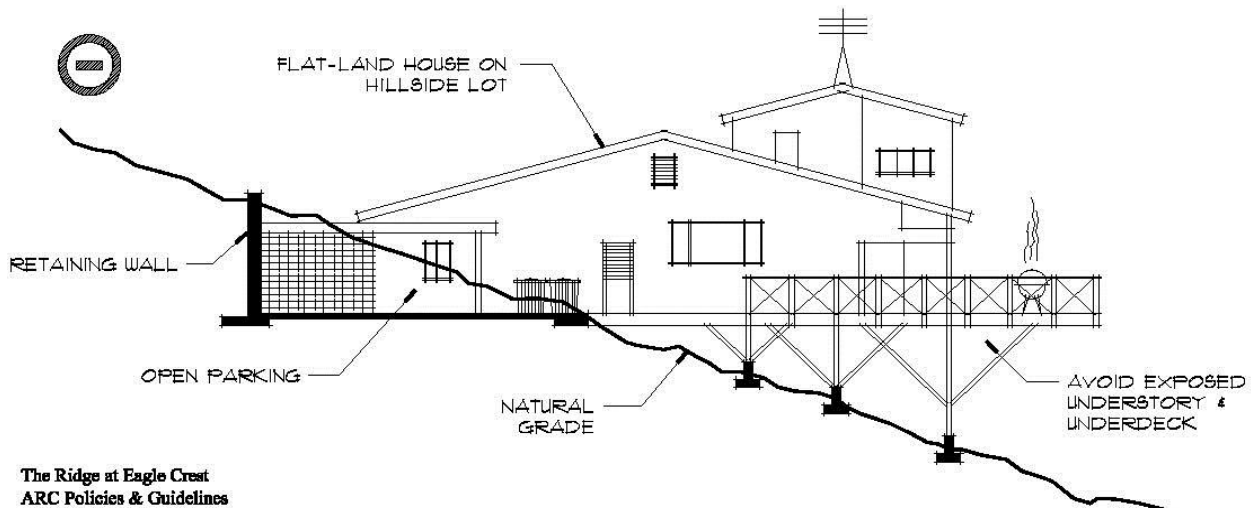
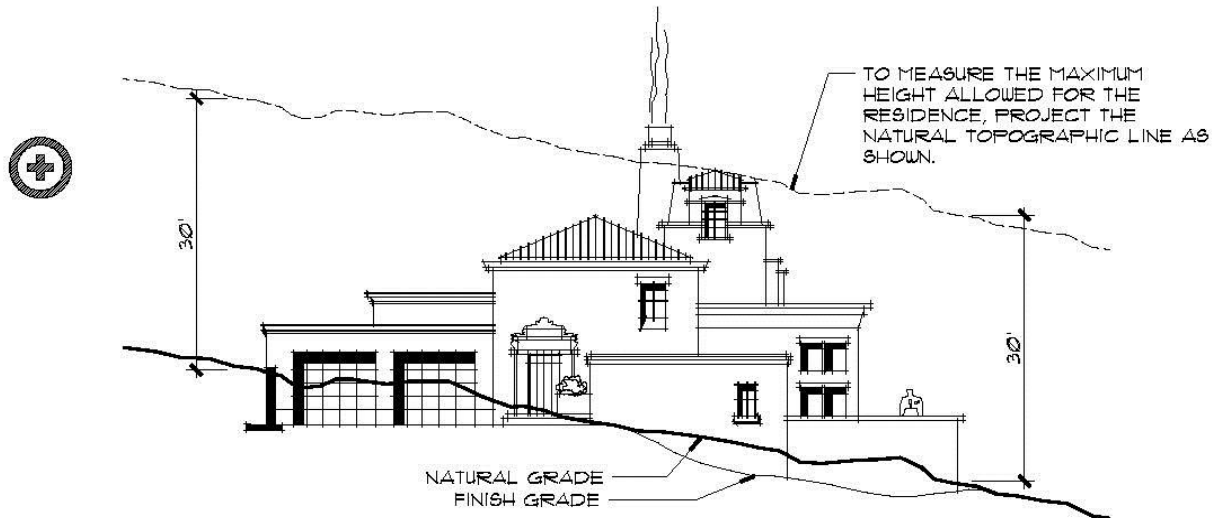


Building height should be in proportion to the style and size of the house and to the lot area.

- Set back higher portions of the structure to reduce the appearance of height.
- Vary height of building elements.
- Minimize areas of maximum height.
- Manmade contouring should mimic natural contours.
- Attempt to balance cut and fill on site without disrupting the natural topography of the site.
- Set buildings into hillside by cutting into slope.

Limit the amount of grading to avoid erosion, visual, and other impacts.

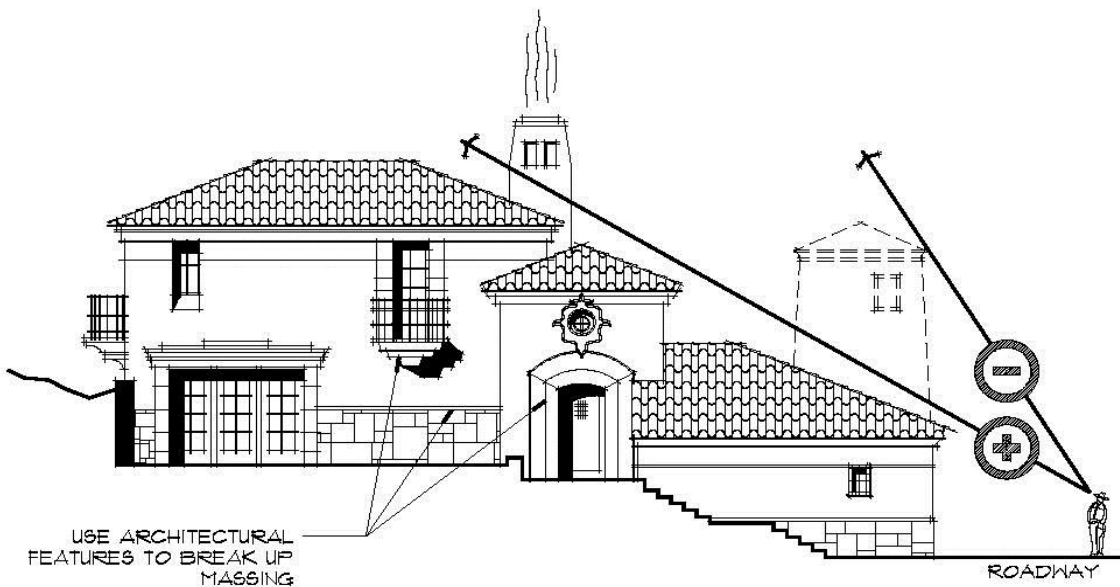
- Avoid using designs intended for flat lots on sites where construction of the home will take place on a hillside.
- Avoid exposing the undersides of buildings or decks.
- Preserve natural vegetation and mature trees. Avoid visual scarring.
- Limit the amount of grading outside of the building footprint.



The Ridge at Eagle Crest
ARC Policies & Guidelines

Use architectural features to break up unacceptable massing.

- Vary rooflines.
- Use a combination of vertical and horizontal elements.
- Use design elements that are consistent with the chosen style.
- Use doors and windows to create patterns.
- Use stepbacks and projections in the design to create interest.
- Tall elements should be placed toward the center or uphill portion of the building.



- Step building up or down the hill.

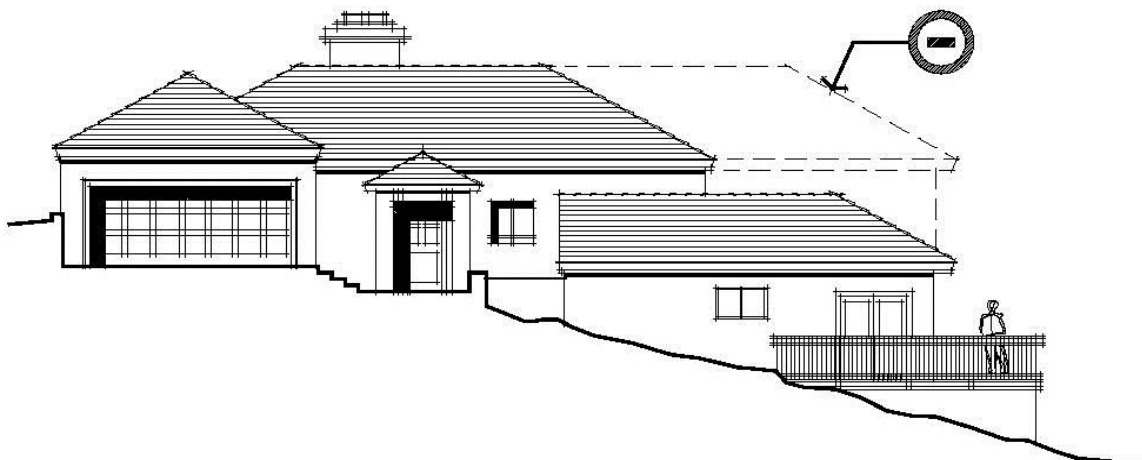


EXHIBIT D

GOOD NEIGHBOR POLICIES

- ❖ While only some of the following techniques are required; these policies are designed to maintain good neighbor relationships during periods of construction of new homes, and additions and remodels. These “Good Neighbor” policies are based on the “Golden Rule”: “Do unto others as you have them do unto you.”
- ❖ Think about what concerns you might have with respect to your project if you lived at the neighboring home(s). Incorporate these concerns into your design.
- ❖ Design your home or addition on your home as if you were going to live next door to it.

Privacy:

- Site structures and additions to increase visual distance between your neighbors’ structures wherever possible.
- Orient your upper floor decks toward your yard area and away from neighboring decks or yard areas wherever possible.
- Orient your second story windows to protect your neighbor’s privacy. You may not want to see them any more than they want to be seen by you.
- Use translucent windows or transom (high) windows to allow for illumination while protecting privacy of yours and your neighbor’s homes.
- Areas in your home that require more privacy should be located away from your neighbors wherever possible
- Orient exterior activity areas away from neighbors.
- Use fire resistant plants to provide privacy to you or your neighbor and minimize wildfire risk.
- Use fire resistant landscaping to screen living areas.

Visual Impacts:

- Orient outdoor storage areas, mechanical equipment, and dog areas in areas of no visual and noise impacts to neighboring homes.
- Landscape the sides of your home in addition to the front and rear in order to create a visual buffer from house to house.

- Screen solar devices, satellite dishes, radio antennae and other equipment from neighbors’ views to the maximum amount possible.

Lighting:

- Provide adequate lighting for safe traverse of paths of limited outdoor activities without spilling light onto your neighbor’s property.
- Screen light sources from neighboring properties.
- Use landscape lighting and walkway light to illuminate pathways rather than directing light to a path with a fixture mounted on the house.
- Limit light intensity by using lower wattage bulbs in your fixtures.
- Design your driveway and parking areas so that headlights do not shine onto neighboring windows.

Views:

- Be sensitive to your neighbors’ views in the placement and architectural style of your house or addition.
- Reduce height of the structure to minimize negative impacts on your neighbors’ views.
- Higher proportions of a structure should be placed to minimize obstruction of views.
- Consider how landscape additions could eventually grow to obstruct your neighbors’ views when planning for installation of additional landscaping.

EXHIBIT E

FEE AND FINE SCHEDULE

FEES

NEW CONSTRUCTION

Application Fee	\$2,050
Refundable Compliance Deposit	\$2,500
TOTAL	\$4,550
 Pavement Assessment Fee (separate check)	 \$750
Oregon Water Utilities Fee	Contact OWU
60-day Construction Extension Fee	\$500

EXTERIOR ALTERATION/REMODEL/ADDITION

(Major) Application Fee	\$650
Refundable Compliance Deposit	\$200
TOTAL	\$850
 (Minor) Application Fee	 \$200
Refundable Compliance Deposit	\$200
TOTAL	\$400

FINES

Construction Non-compliance	\$1,000
Trespassing	\$1,000
Builder's Conduct (sub-contractors, suppliers, workers)	
1 st Offense	\$100
2 nd Offense	\$200
3 rd Offense	\$500
4 th Offense	7 day work suspension and \$1,000 fine
Unauthorized Tree Removal/Trimming	\$500 + tree replacement
Unauthorized Construction	\$2,000

EXHIBIT F
OWNER CONSTRUCTION AGREEMENT
(FOR NEW CONSTRUCTION)

As a property owner at the Ridge at Eagle Crest, I/we have read and will conform to the current Policies and Guidelines established by the Ridge at Eagle Crest Owners Association Architectural Review Committee ("ARC"), including but not limited to section 6.0; Construction, subsection 6.01.02; Contractor Conduct, and the submittal form and application. I/we fully understand the requirements of this submittal.

**Any change in the exterior from an approved submittal must be
resubmitted to the ARC for approval.**

I/We assume full responsibility for the location of the property lines of my/our lot and will locate all pins or conduct a survey to confirm the correct property lines. In addition, I/we are aware of the building contractor regulations set by The Ridge at Eagle Crest Owners Association and the sign policies set forth in the ARC Policies and Guidelines and agree to inform the contractor of these regulations and policies and to abide by these policies. I/We assume full responsibility for any and all damage by the contractor to adjacent lots, common area, or my/our property during the construction of my home, including unauthorized or accidental tree/shrub removal or damage.

DATE: _____ Phase # _____ Lot # _____

Eagle Crest Property Address: _____

OWNERS SIGNATURES: (Signatures of all owners required)

Print Owner Name

Owner Signature

Print Owner Name

Owner Signature

----- For Office Use Only -----

Date Received: _____ Submitted by: _____ Received by: _____

EXHIBIT G
OWNER CONSTRUCTION AGREEMENT
(FOR ADDITIONS/REMODELS)

As a homeowner at The Ridge at Eagle Crest requesting an addition/remodel to the home on Lot No._____, I/we have read and will conform to the current Policies and Guidelines established by the Ridge at Eagle Crest Owners Association Architectural Review Committee (“ARC”) including section 6.0; Construction, subsection 6.01.02; Contractor Conduct, and the submittal form and application. I/we fully understand the requirements of this submittal.

Enclosed is the construction/remodel fee of:

☐ \$850.00 for a major remodel or ☐ \$400.00 for a minor remodel, of which \$200.00 may be refunded upon a final inspection by a representative of the Architectural Review Committee.

Any change in the exterior design and/or construction from the original submittal will be resubmitted to the Committee for approval.

DATE: _____ Phase # _____ Lot # _____

Eagle Crest Property Address: _____

OWNERS SIGNATURES: (Signatures of all owners required)

Print Owner Name

Owner Signature

Print Owner Name

Owner Signature

----- For Office Use Only -----

Date Received: _____ Submitted by: _____ Received by: _____

EXHIBIT H
BUILDERS AGREEMENT

I have read, fully understand and will conform to the current Policies and Guidelines established by the Ridge at Eagle Crest Owners Association Architectural Review Committee ("ARC"), in connection with all construction work performed by me and my subcontractors on Phase No. _____, Lot No. _____.

I am aware of the building contractor regulations set by The Ridge at Eagle Crest Owners Association, (see section 6.0; Construction, subsection 6.01.02; Contractors Conduct, and the sign policy set forth in the ARC Policies and Guidelines) and agree to abide by these policies. I understand fines may be assessed against me and/or the lot owner for violation of these Policies and Guidelines by the Association or ARC.

DATE: _____ Phase # _____ Lot # _____

Eagle Crest Property Address: _____

BUILDER SIGNATURE:

Print Builder Name

Builder Signature

Mailing Address: _____

Phone: _____ Email: _____

----- For Office Use Only -----

Date Received: _____ Submitted by: _____ Received by: _____

EXHIBIT I
LOT DRAINAGE ACKNOWLEDGEMENT

As a property owner at the Ridge at Eagle Crest, I/we have read and will conform to the current Policies and Guidelines established by the Ridge at Eagle Crest Owners Association Architectural Review Committee ("ARC"), including but not limited to sections 3.01.08 & 5.02.04. I/we fully understand the requirements of this submittal.

Each homeowner is responsible for managing drainage through their property in ways that reduce potential for impacts on neighboring properties.

- I/We assume full responsibility for the drainage on and through our property and fully understand that, at the discretion of the ARC, I/We may be required to employ the services of a qualified engineer or hydrologist at our expense.
- I/We assume full responsibility for the installation of storm water control facilities to contain onsite storm water from all impervious surfaces.
- I/We accept the burden of and agree not to alter or interfere with any established drainage channels that may exist upon our lot.

DATE: _____ Phase # _____ Lot # _____

Eagle Crest Property Address: _____

OWNERS SIGNATURES: (Signatures of all owners required)

Print Owner Name

Owner Signature

Print Owner Name

Owner Signature

----- For Office Use Only -----

Date Received: _____ Submitted by: _____ Received by: _____

EXHIBIT J

SUBMITTAL FORM AND APPLICATION

(For New Home Construction)

Received by: _____ Date: _____ Time: _____

Property Owner: _____

Mailing Address: _____

Telephone: _____ Email: _____

Contractor: _____ Telephone: _____ Email: _____

Contractor Mailing Address: _____

Phase #: _____ Lot #: _____ Eagle Crest Property Address: _____

Square footage of new home _____ Deed Restricted Lot? Yes ☐ No ☐ (See Section 3.01.07.6)

The Architectural Review Committee, as provided for in The Ridge at Eagle Crest Owners Association Declaration of Protective Covenants, Conditions, Restrictions and Easements, exists at The Ridge at Eagle Crest to maintain high standards for design development and appropriate use of homes and property. When an owner wishes to a new home, application is to be made to the Committee by using this form. Completion of the following pages will provide the Committee with the information necessary to review the proposed construction for compliance with the Policies and Guidelines. The Architectural Review Committee representative can be contacted for information and assistance.

PROCEDURE FOR OBTAINING ARCHITECTURAL REVIEW COMMITTEE APPROVAL

1. Complete and submit the appropriate applications and forms. Notice of action taken by the Committee will be mailed to applicants as soon as possible. Applicants must respond to the Committee in writing following receipt of the concerns of the Committee.
2. Submittal of one set of construction documents as outlined on the following pages (this set will be kept in the ARC office). Plans must include site plan, elevations, topographical maps, and survey if necessary.
3. Signed copy of and **receipt of payment** for the Application for Utility Services from Oregon Water Utilities – Cline Butte. Please contact Brett Limbeck, OWU Field Superintendent at 541-504-2305 for more information.
4. Payments required prior to ARC review include:

NEW HOME CONSTRUCTION		
SUBMITTAL REQUIREMENTS	FEE	DEPOSIT ALLOWANCE
ARC Application	\$2,050	NONE
ARC Compliance Deposit:	\$2,500	The compliance deposit may be refunded upon satisfactory completion of construction and landscaping as approved.
Total ARC Payments Due:	\$4,550	A total payment to the ARC is required for new homes

Pavement Damage Assessment (new home construction)	\$750	NONE – Please write a separate check for this fee, payable to RECOA
--	--------------	---

MAKE ALL CHECKS PAYABLE TO: The Ridge at Eagle Crest Owners Association (“RECOA”)

ITEMS TO REMEMBER:

1. Architectural Review Committee approval is valid for one year for new homes. If construction has not begun in that time, a new application must be made with an additional deposit required.
2. All proposed exterior construction on your lot must be completed within nine (9) months of written approval from the ARC.
3. All landscaping must be completed within nine (9) months of completion of the exterior of the home.
4. The Architectural Review Committee assumes no liability for encroachments into platted setbacks, solar setbacks or onto easements or neighboring property. Be sure to check the plat of your lot and property lines to avoid encroachments and trespass. If pins cannot be located, a survey must be conducted to locate property lines.

All applicants are required to submit one set of building plans and one detailed site plan. Due to the detailed information required for the site plan and the on-site building stakeout/string line requirements, the ARC advises the applicant to have a professional surveyor prepare the site plan and place the stakes and string lines.

The following is a list of items which must be included in Architectural Review Committee submittals and will be considered by the Architectural Review Committee prior to approval of proposed construction.

CHECKLIST - Please check off each item included.

A. SITE PLAN *Section 3.02*

- Check _____ 1. Title Block: *Section 3.02.01*
- _____ 2. Scale: 1" = 10' *Section 3.02.02*
- _____ 3. Property Lines dimensioned from pin to pin *Section 3.02.03*
- _____ 4. Setbacks and Easements shown as dashed lines and labeled *Section 3.02.04*
- _____ 5. Building Envelope, or “No Build” zone (if any) *Section 3.02.05*
- _____ 6. Building Locations and Building Projection Locations *Section 3.02.06*
- _____ 7. Utilities *Section 3.02.07*
- _____ 8. Trees, Shrubs and Natural Features *Section 3.02.08*
- _____ 9. Area Tabulation (in lower right corner of Site Plan) *Section 3.02.09*
- _____ 10. Topography (existing and proposed changes) *Section 3.02.10*
- _____ 11. Driveways, Pathways, Parking Areas *Section 3.02.11*
- _____ 12. Privacy Screens and Fences *Section 3.02.12*
- _____ 13. Construction Staging and Temporary Structures *Section 3.02.13*
- _____ 14. North Arrow

B. SITE LAYOUT: *Section 3.03*

- Check: _____ 1. Property Lines: pins located, lines strung with surveyor’s tape
- _____ 2. String Layout of Building Perimeter; including garage, decks, driveway and other parking

- _____3. Trees and Shrubs proposed for removal *Section 3.03*
- _____4. No Build Zones (if any), must be strung
- _____5. Adjacent Property Protection *Section 3.03.02*

C. ELEVATIONS: To be drawn with actual grade reflected in elevation. *Section 4.02.01*

- Check: _____1. Scale: All sides of the home shown at a minimum Scale: $\frac{1}{4}" = 1'$
- _____2. Door and window openings- show grids if applicable
- _____3. Exterior building features (roofing, siding, fireplace chimneys and vents, railings, trim, foundation, masonry, heat pump and propane shrouds, etc.)
- _____4. Location of all exterior light fixtures
- _____5. Note the types of all exterior materials and finishes to be used (note lap exposure for lap siding)
- _____6. IMPORTANT - show the proposed structure's plate heights and ridge heights from finish grade
- _____7. Elevations drawn with respect to the finish grade
- _____8. No reverse plans will be accepted
- _____9. Building Height, measured from grade to highest point: _____ (ft/in)

D. FLOOR PLANS *Section 4.02.02*

- Check _____1. Scale: $\frac{1}{4}" = 1'$ - note on plan
- _____2. Square footage of each floor and total square footage of the home
- _____3. Dimensions of all interior and exterior walls
- _____4. Location and sizes of all windows, doors and openings
- _____5. Locations of decks, patios, porches and privacy screens
- _____6. Label all rooms (Dining, Bedroom, Kitchen, etc.)

E. PERSPECTIVE DRAWINGS *Section 4.02.03*

- _____1. Check if included in submittal

F. EXTERIOR PAINT SCHEDULE *Section 4.02.05.1*

- Check _____1. Minimum Scale: $1" = 20'$
- _____2. Title Block- same as Site Plan Title Block
- _____3. Location of all exterior colors.
- _____4. Submitted with paint samples.

G. SAMPLES *Section 4.02.06*

- Check _____1. Owner Name
- _____2. Owner Phone Number
- _____3. Phase and Lot Numbers
- _____4. Color Number, Style Number, Model Number, or Fixture Number (where applicable)
- _____5. Type of finish (Brushed Nickel, Copper, Satin, Clear, etc.)

_____ 6. Where product will be used or installed on the home

H. LANDSCAPING PLAN *Section 5.02*

- Check _____ 1. Title Block and Scale *Section 5.02.01*
- _____ 2. Existing Trees *Section 5.02.02*
- _____ 3. Grade Changes *Section 5.02.03*
- _____ 4. Walkway and Bed Materials *Section 5.02.04*
- _____ 5. Plant Materials *Section 5.02.06*
- _____ 6. Scarred Areas *Section 5.02.07*
- _____ 7. Landscape Lighting *Section 5.02.08*
- _____ 8. Turf *Section 5.02.10*
- _____ 9. Irrigation System Plan- on a separate sheet *Section 5.03*
- _____ 10. Drainage Plan *Section 3.01.08*
- _____ 11. Lot Elevations:
Low elevation point: _____
High elevation point: _____
Total elevation change: _____
Distance between points: _____

I. OWU APPLICATION FORM AND PROOF OF PAYMENT

J. OUTLINE OF SPECIFICATIONS & PROCEDURES TO BE USED IN CONSTRUCTION:

1. **Provisions for construction period:**
 - a. Temporary structures (what and where):

 - b. Location of staging and material storage areas:

 - c. Measures to be taken to protect topography, native areas and neighboring property from damage:

2. **Site work:**
 - a. Walkways and driveway (material):

3. **Foundation:**
 - a. Type and material:

4. **Exterior masonry:** (samples to be submitted if used)*
 - a. Type and location:

5. **Exterior metals:** (must be painted)*
 - a. Type and location:

6. **Exterior wood:** (samples may be requested)*
 - a. Siding description; note exposure width at laps if a lap siding is used, etc.:

b. Trim description: _____

c. Exposed framing description and location: _____

7. **Roof construction:***

a. Roofing materials: colors and samples to be submitted

Pitch: _____ Brand/Color/Style: _____

b. Flashing/Roof Metals: (materials and type - must be colored or painted to blend with roof)

Locations : _____

c. Skylights: type and color of glazing to be used _____

8. **Exterior openings:***

a. **Doors:** materials and finish

Type: _____ Color: _____

b. **Windows:** materials and finish

Type: _____ Color: _____

9. **Exterior painting and staining:*** submit color samples on 8 ½" x 11" paper or cardboard

a. **Siding:**

Type: _____ Color: _____

b. **Siding:**

Type: _____ Color: _____

c. **Trim Paint:**

Type: _____ Color: _____

d. **Accent Colors:** such as front door, shutters, etc.

Location(s): _____ Color: _____

e. **Metals:**

Type: _____ Color: _____

10. **Heating/Cooling System:** includes type, location and if specifying the use of solar or other exterior equipment, including heat pumps, please indicate :

Screening Material:

Type: _____ Color: _____

11. **Garage overhead door** - design to be shown on plan or submit catalogue cut:

Type: _____ Color: _____

***Deferred Submittals:** Exterior finishes (items J4 – J9) may be deferred up to 60 days past application submittal, however, ARC has the authority to enforce the removal and replacement of any installed element that has not been expressly approved by the ARC.

EXHIBIT K

SUBMITTAL FORM AND APPLICATION

(For Exterior Alterations & Remodel Construction)

Property Owner: _____

Mailing Address: _____

Telephone: _____ Email: _____

Contractor Name *(if applicable)*: _____

Telephone: _____ Email: _____

Contractor Mailing Address: _____

Type of Submittal: *Major Addition / Remodel* ☐ *Minor Remodel / Alteration* ☐

Phase #: _____ Lot #: _____ Eagle Crest Property Address: _____

Square footage of alteration _____ Deed Restricted Lot? Yes ☐ No ☐ (See Section 3.01.07.6)

The Architectural Review Committee, as provided for in The Ridge at Eagle Crest Owners Association Declaration of Protective Covenants, Conditions, Restrictions and Easements, exists at The Ridge at Eagle Crest to maintain high standards for design development and appropriate use of homes and property. When an owner wishes to make alterations or additions to an existing home, application is to be made to the Committee by using this form. Completion of the following pages will provide the Committee with the information necessary to review the proposed construction for compliance with the Policies and Guidelines. The Architectural Review Committee representative can be contacted for information and assistance.

PROCEDURE FOR OBTAINING ARCHITECTURAL REVIEW COMMITTEE APPROVAL

1. Complete and submit the appropriate applications and forms. Notice of action taken by the Committee will be mailed to applicants as soon as possible. Applicants must respond to the Committee in writing following receipt of the concerns of the Committee.
2. Submittals must include a detailed site plan. Additional plans such as elevations, topographical maps, and survey may be required if necessary.
3. Payments required prior to ARC review include:

MAKE ALL CHECKS PAYABLE TO: The Ridge at Eagle Crest Owners Association (“RECOA”)

MAJOR ADDITIONS/REMODELS		
SUBMITTAL REQUIREMENTS	FEE	DEPOSIT ALLOWANCE
ARC Application for exterior alterations, additions, and/or remodeling	\$850	\$200 of the deposit may be refunded upon satisfactory completion of the remodel work as approved.
Total ARC Payments	\$850	A total payment to the ARC is required for additions/remodels prior to review

MINOR ALTERATION/REMODELS		
SUBMITTAL REQUIREMENTS	FEE	DEPOSIT ALLOWANCE
ARC Application for additions and/or remodeling	\$400	\$200 of the deposit may be refunded upon satisfactory completion of the remodel work as approved.
Total ARC Payments	\$400	A total payment to the ARC is required for additions/remodels prior to review

ITEMS TO REMEMBER:

1. Architectural Review Committee approval is valid for six months for remodeling and other exterior alterations. If work has not commenced in that time, a new application must be made with an additional deposit required.
2. All proposed exterior alterations on your lot must be completed within twelve (12) months of written approval from the ARC.
3. The Architectural Review Committee assumes no liability for encroachments into platted setbacks, solar setbacks or onto easements or neighboring property. Be sure to check the plat of your lot and property lines to avoid encroachments and trespass. If pins cannot be located, a survey must be conducted to locate property lines.
4. Any proposed exterior alteration in managed neighborhoods (Creekside, Desert Sky, Vista Rim, Highland Parks, Eagle Creek, Forest Ridge, and Forest Greens) require additional approval by the RECOA Board of Directors. Following review of submittals in these neighborhoods, the ARC will forward the application along with committee recommendations to the RECOA Board for their consideration.

All applicants are required to submit one set of building plans and one detailed site plan. Due to the detailed information required for the site plan and the on-site building stakeout/string line requirements, the ARC advises the applicant to have a professional surveyor prepare the site plan and place the stakes and string lines.

----- For Office Use Only -----

Date Received: _____ Submitted by: _____ Received by: _____

EXHIBIT L
SUBMITTAL FORM AND APPLICATION
(For submittals that do not require a compliance deposit)

Property Owner: _____

Mailing Address: _____

Telephone: _____ Email: _____

Phase #: _____ Lot #: _____ Eagle Crest Property Address: _____

Type of Submittal:

- ☐ Repainting (new colors) (See **Section 8.03.05** for submittal requirements)
- ☐ Sattelite dish installation (See **Sections 4.01.24** for installation requirements)
- ☐ Replacement of landscaping materials (See **Sections 5.0 and 8.03.02** for submittal requirements)
- ☐ Interior remodel requiring onsite storage (dumpsters only – See **Section 6.01.04** for debris guidelines)
- ☐ Solar panels (See **Section 4.01.10** for installation requirements)
- ☐ Other (please describe): _____

(If applicable)

Contractor: _____ Phone: _____ Email: _____

Contractor Mailing Address: _____

The Architectural Review Committee (ARC), as provided for in The Ridge at Eagle Crest Owners Association Declaration of Protective Covenants, Conditions, Restrictions and Easements, exists at The Ridge at Eagle Crest to maintain high standards for design development and appropriate use of homes and property. When an owner wishes alter or add to the exterior of an existing home, application is to be made to ARC by using this form. The ARC representative can be contacted for information and assistance by calling 541-548-9300 or emailing arc@ridgeowners.org.

----- For Office Use Only -----

Date Received: _____ Submitted by: _____ Received by: _____

EXHIBIT M
INSPECTION REQUEST AND
COMPLIANCE DEPOSIT REQUEST FORM

Homeowner: _____ Date: _____

Phone: _____ Email: _____

Phase #: _____ Lot #: _____ Eagle Crest Property Address: _____

Date of ARC Approval: _____ Date of Certificate of Occupancy: _____

Check the appropriate box for the deposit you are requesting:

- ☐ Exterior Completion Inspection/\$1500 Deposit *
- ☐ Final Inspection/ \$1000 Deposit
- ☐ Exterior Alteration/Remodel Inspection/ \$200 Deposit
- ☐ Adjoining Lot Access/\$700

Make Check Payable to: _____

Mailing Address: _____

Homesite Owner Signature: _____

*Attach a copy of the **Certificate of Occupancy** (*New Construction only*)

Please return to the ARC:

c/o Eagle Crest Management

P.O. Box 1215

Redmond, OR 97756

Email: arc@ridgeowners.org

Fax: 541-504-4351

Phone: 541-548-9300

----- For Office Use Only -----

Date Received: _____ **Submitted by:** _____ **Received by:** _____

EXHIBIT N
TREE AND SHRUB REMOVAL PERMIT

To establish and preserve a harmonious relationship between the existing natural landscape and proposed improvements, a tree and shrub removal permit is required for trees with a trunk diameter greater than 6" measured at 12" above grade or shrubs over 3' in height.

Property Owner: _____

Mailing Address: _____

Phone: _____ Email: _____

Phase #: _____ Lot #: _____ Eagle Crest Property Address: _____

Number of trees to be removed: _____ Number of shrubs to be removed: _____

Owner's signature: _____ Date: _____

1. Provide a site plan, 1"=20', that shows the existing trees with a trunk diameter greater than 6" measured at 12" above grade and shrubs over 3' in height denoting which ones are proposed for removal.
2. Flag all items proposed to be removed with colored tape - ***No paint***

Note: From ***Section 8.02 Tree and Shrub Alterations***

8.02.01 Removal of Highly Flammable Trees and Shrubs: To create defensible space in the event of wildfire, owners must remove any highly flammable tree or shrub within 15 feet of a building envelope, including decks and enclosures, without ARC approval.

8.02.02 Removal of Other Trees and Shrubs: ARC approval is not required to remove any other tree with a trunk diameter less than 6 inches measured 12 inches above grade or shrubs measuring less than 3 feet in height.

----- For Office Use Only -----

Date Received: _____ Submitted by: _____ Received by: _____

Conditions of approval: _____

EXHIBIT O
ADDRESS SIGN ORDER FORM

Homeowner : _____ Date: _____

Property Address (*Please, print clearly!*): _____

Phase #: _____ Lot #: _____

Person to contact when the sign is ready: _____

Phone: _____ Email: _____

Owner or Builder's signature: _____ Date: _____

Please fax or mail this form to Dana Signs:

Office: 541-548-7226
Fax: 541-548-5312
Mail: 615 SW Umatilla Ave
Redmond, OR 97756

**Allow 10 working days for the
completion of the address sign.**

EXHIBIT P
ADJACENT LOT ACCESS PERMIT/BUILDERS AGREEMENT
(For New & Remodel Construction)

As a builder at The Ridge at Eagle Crest I am requesting permission to cross onto an adjacent lot, Lot No. _____, for access to the construction site at Lot _____. I/We have read and will conform to the current Architectural Review Committee Policies and Guidelines and fully understand the requirements of this submittal.

Enclosed is the deposit of \$750.00, which \$700.00 may be refunded when all damaged areas have been reclaimed and an inspection by a representative of the Architectural Review Committee approves the reclamation. Failure to complete the reclaimed areas before calling for a 2nd inspection will be charged \$50.00 per each re-inspection or deducted from the deposit monies.

DATE: _____ Phase # _____ Lot # _____

Eagle Crest Property Address: _____

OWNER SIGNATURES: (Signatures of the builder, adjacent owner and ARC are required)

Print Builder Name & Company Name

Builder Signature & Date

Print Adjacent Owner Name

Adjacent Owner Signature & Date

Print ARC Name

ARC Signature & Date

----- For Office Use Only -----

Date Received: _____ Submitted by: _____ Received by: _____